



CPED STAFF REPORT

Prepared for the Heritage Preservation Commission

HPC Agenda Item #2
 March 24, 2015
 BZH-28573

HERITAGE PRESERVATION APPLICATION SUMMARY

Property Location: 200 3rd Street North
Project Name: Lee Lofts
Prepared By: [Lisa Steiner](#), City Planner, (612) 673-3950
Applicant: Jamie Heilicher
Project Contact: Amy Meller, MacDonald & Mack Architects
Ward: 3
Neighborhood: Downtown West
Request: To rehabilitate the existing building, modifying entrances, repairing masonry, restoring the cornice, and installing new signs that do not meet the *Design Guidelines for On-Premises Signs and Awnings*.

Required Applications:

Certificate of Appropriateness	To allow masonry repair, entrance alterations, cornice restoration, and new signage in the Warehouse Historic District.
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HISTORIC PROPERTY INFORMATION

Current Name	Harmony Lofts
Historic Name	Weum-Watt Company (1907 – c. 1910s) H.D. Lee Company (c. 1920 – c.1960s)
Historic Address	200 3 rd Street North
Original Construction Date	1907
Original Architect	J.I. Stene
Original Builder	H. Fergstad
Original Engineer	Unknown
Historic Use	Wholesale factory & warehouse
Current Use	Apartments
Proposed Use	Apartments

Date Application Deemed Complete	February 20, 2015	Date Extension Letter Sent	Not applicable
End of 60-Day Decision Period	April 21, 2015	End of 120-Day Decision Period	Not applicable

CLASSIFICATION

Local Historic District	Minneapolis Warehouse Historic District
Period of Significance	1865 - 1930
Criteria of Significance	<i>Criteria 1:</i> The property is associated with significant events or with periods that exemplify broad patterns of cultural, political, economic or social history. <i>Criteria 4:</i> The property embodies the distinctive characteristics of an architectural or engineering type or style, or method of construction. <i>Criteria 6:</i> The property exemplifies works of master builders, engineers, designers, artists, craftsmen or architects.
Date of Local Designation	2009
Date of National Register Listing	1989
Applicable Design Guidelines	<i>Minneapolis Warehouse District Design Guidelines (2010)</i>

SUMMARY

BACKGROUND. The five-story wholesale warehouse and factory was constructed in 1907 by the Weum-Watt Company, a wholesale men’s furnishings company. The light brick building is designed in a simple Neo-Classical Revival style with corner piers and pilaster columns defining the primary facades. The historic main entrance on 3rd Street North is flanked by Doric columns with full entablature. According to permit history, the cornice and parapet were rebuilt in 1936.

The setting of the building was altered drastically by the construction of the interstate highways into downtown Minneapolis; 3rd Street North becomes an on-ramp for I-94 and I-394 at 2nd Avenue North. These highways were completed in 1968 and 1991 respectively. Due to the location of the interstate on-ramps, the historic primary entrance on 3rd Street now functions as a secondary entrance to the building and the building’s more commonly utilized entrance for residents is the entry on 2nd Avenue North.

A 1912 photo of the building (provided in the appendix) shows signage for “Tibbs Hutchings and Co. Factory,” a wholesale dry goods company. In 1920, the H.D. Lee Company purchased the building for its factory and warehouse. From Sanborn maps (included in the appendix) and permit history, it appears that the adjacent buildings along 3rd Street North and 2nd Avenue North were also part of the Lee warehouse and factory with internal connections between the buildings. A painted ghost sign proclaiming “Lee Overalls - Work Clothing - Sold by Leading Dealers Everywhere” remains on the subject building’s northwest façade. The Lee apparel warehouse and factory remained in this location until the late 1960s. In the 1970s and 1980s, the upper floors of the building were converted to apartments. Between 1988 and 1990, all five floors of the warehouse building were rehabilitated and converted into apartments. The building has been called Harmony Lofts since then.

The building was designated in the National Register of Historic Places as part of the Warehouse Historic District in 1989, although it had not been included as part of the original local Warehouse Historic District designated in 1978. When the local Warehouse Historic District boundaries were expanded to better align with the National Register boundaries in 2009, the subject building became locally designated.

APPLICANT'S PROPOSAL. The applicant is proposing to rehabilitate the exterior of the building; interior renovations are currently underway but those interior changes are not reviewed by the Heritage Preservation Commission. Proposed exterior modifications include:

Exterior Masonry Repairs: The applicant is proposing to address general masonry maintenance issues through the repair and replacement of deteriorated masonry. The stone pilaster bases on the 3rd Street North and 2nd Avenue North facades will be fully repointed and either patched or replaced depending on their condition. Many of the stone window sills have eroded, so approximately twenty stone sills are proposed to be replaced with replica cast stone sills due to their deteriorated condition. Bricks that are deteriorated or missing will be removed and replaced with matching brick. General masonry cleaning is not proposed, although a chemical cleaning product will be utilized at areas of repair.

Entry Repairs: The existing cracks in the cast concrete columns on the 3rd Street North entry will be repaired and a thin cementitious skim coat will be applied to provide a uniform appearance. A plywood enclosure was installed over the entablature at some point prior to 1988; the applicant is proposing to temporarily remove this enclosure, remove loose materials, stabilize any remaining cast concrete, and then re-enclose the entablature in plywood. This work would be completed in order to prepare for a future restoration of the entablature. On the 2nd Avenue North entry, the applicant is proposing to install a new awning to better define this entrance as the main entrance for the apartments. The fabric of the awning will likely be a navy and white striped fabric. New industrial lighting is also proposed at this entryway.

Cornice Restoration: The applicant is proposing to install a new sheet metal cornice which attempts to replicate the original cornice on the two primary facades. This restoration is based on historic photo documentation as well as an assessment of existing cornices on similar nearby historic buildings. The cornice would be wrapped approximately 4 feet around the secondary elevations of the building.

Signage: The applicant is also proposing two signs which do not conform to the *Design Guidelines for On-Premise Signs and Awnings* and therefore require Certificate of Appropriateness approval. The two new signs for the building would display the new "Lee Lofts" name for the building. The owner has signed a licensing agreement with the H.D. Lee Company to use the "Lee" brand and logo if needed. The first sign is approximately 133 square feet in size and would be located near the top of the building on the 2nd Avenue façade, 64 feet above grade. The design of the sign and its location are similar to the location and design of signs in the 1912 photo of the building (see appendix.) The proposed vertical sign would need a variance of height approved by the Zoning Board of Adjustment, if approved by HPC. The second sign is approximately 5 square feet in area and would be located 17 feet from grade.

Dumpsters: Because the subject building is attached to both of the adjacent buildings to the northeast and northwest (likely due to all of the buildings being connected when operated by the Lee Company), it does not have alley access. The refuse containers for the apartment building are currently located at the southwest corner of the building near the intersection of 3rd Street and 2nd Avenue. The applicant has proposed an alternate location for the dumpsters on the opposite side of the 3rd Street entrance. The Department of Public Works has confirmed that there is sufficient room for snow removal and pedestrian traffic to construct an enclosure in the alternate location indicated on the site plan.

PUBLIC COMMENTS. No correspondence has been received as of the writing of this report. Any correspondence received prior to the public meeting will be forwarded on to the Heritage Preservation Commission for consideration.

ANALYSIS**CERTIFICATE OF APPROPRIATENESS**

The Department of Community Planning and Economic Development has analyzed the application to allow masonry repair, entrance alterations, cornice restoration, and new signage at 200 3rd Street North based on the following [findings](#):

1. *The alteration is compatible with and continues to support the criteria of significance and period of significance for which the landmark or historic district was designated.*

The Minneapolis Warehouse Historic District is historically significant as an early example of commercial growth as the city's warehouse and wholesaling district. The district expanded during the late nineteenth and early twentieth centuries and helped transform Minneapolis into a major distribution and jobbing center. The buildings, structures, and industrial landscape of the Warehouse District reflect the genesis and evolution of these industries. The district is also architecturally significant for its remarkably intact concentration of commercial buildings designed by the city's leading architects which demonstrate every major architectural style from the late nineteenth to early twentieth century, including the Neo-Classical Revival style of the subject building. The period of significance for the district is identified as 1865 through 1930.

The alterations proposed are compatible with and continue to support the criteria and period of significance of the Warehouse Historic District. Proposed masonry repairs are limited in scope and will address maintenance issues, thereby helping to ensure the longevity of the building and its ability to convey its significance for decades to come. The 3rd Street entryway alteration will repair the columns, which are an exceptional design feature of the building that clearly express the Neo-Classical Revival style of the building. The 2nd Avenue entrance will demarcate the entryway which has become the main entry of the building over time, though the 3rd Street entrance will still clearly express its importance as the historic main entrance. The proposed restoration of the metal cornice of the building is based on photographic evidence which demonstrates that a similar design existed during the period of significance for the district. The proposed vertical sign will be similar to the historic signage located on the buildings while clearly being a contemporary interpretation.

2. *The alteration is compatible with and supports the interior and/or exterior designation in which the property was designated.*

The subject building was constructed in 1907 and shares many of the typical design features of twentieth century warehouses in the area. These buildings were large rectilinear boxes built for warehousing and manufacturing that were designed for an industrial purpose, though the wealth generated by the businesses and industries that built these buildings often afforded the architects who designed these boxy buildings to embellish their buildings with ornate details. The designation study noted that the integrity of the setting of this building is partially impacted by the interstate on-ramps, but despite this, the building exhibits enough integrity to convey its and the district's significance.

The alterations proposed will restore an important design feature of the building, the cornice, which has been missing for many years. Masonry rehabilitation will address maintenance issues and ensure the long-term viability of the building. The proposed vertical sign will be similar in character to the historic signage on the building while differentiated in material, installation, and

copy to clearly delineate it as contemporary signage. The projecting sign will utilize and highlight an existing feature of the building, the pulley. The alterations proposed are compatible with and support the designation of the building within the Warehouse Historic District.

3. *The alteration is compatible with and will ensure continued integrity of the landmark or historic district for which the district was designated.*

Integrity is the ability of a property to convey its significance. Both the National Register and the City of Minneapolis preservation regulations evaluate integrity based on the following seven aspects:

Location: The proposed alterations will not affect the location of the building.

Design: The restoration of the missing cornice will be in keeping with the original design of the building, as evidenced by historic photographs.

Setting: Setting is the physical environment of a historic property. The designation study noted that the impact of the interstate on-ramps somewhat negatively impacts its setting. Also, due to the unique site constraints of the building, the dumpsters are currently located at the front of the building near the intersection of 2nd Avenue North and 3rd Street North. The applicant has provided an option for an alternate location for the dumpsters on the other side of the 3rd Street entrance. With a compatible screening device, this option will improve the setting of the building and the pedestrian realm of the district as a whole.

Materials: Repair and replacement of deteriorating brick and cast stone will match the original and will remove only the materials which are too deteriorated to rehabilitate. The aluminum material of the new vertical sign will differentiate it from historic painted brick wall signs.

Workmanship: The alterations proposed would not obscure the workmanship evident in the original building. When the plywood enclosure currently enclosing the entablature on the 3rd Street entry is removed, any remaining materials of the original entablature will be stabilized and then re-covered for a future restoration. While this will temporarily obscure the workmanship evident in the entablature, staff finds that adequate weather protection is necessary to allow for a future restoration. However, to ensure that this enclosure will be only temporary, staff recommends a condition of approval that restoration of the entablature will occur in the next two years, the period of decision for the Certificate of Appropriateness.

Feeling: Feeling is a property's expression of the aesthetic or historic sense of a particular period of time. The alterations proposed will continue to convey the property's historic character and will not negatively impact its integrity of feeling of a warehouse and factory from the early twentieth century.

Association: The alterations proposed will continue to convey the property's historic character and will not negatively impact its integrity of association.

Overall, the alterations proposed are compatible with and will ensure the continued integrity of the existing building within the Warehouse Historic District.

4. *The alteration will not materially impair the significance and integrity of the landmark, historic district or nominated property under interim protection as evidenced by the consistency of alterations with the applicable design guidelines adopted by the commission.*

The Warehouse Historic District Design Guidelines were adopted in 2010. The following design guidelines for existing buildings are applicable to the proposal:

General Guidance

Requirement

- 2.2. Distinctive architectural features shall be preserved.
- 2.4. A building's original pedestrian entrance shall remain and shall be used as the building's primary entrance.
- 2.9. Only replace features that are missing or proven beyond repair with the same kind of materials. Replacement with a substitute material will be considered if the form and design of the substitute material is proven durable and conveys the visual appearance of the original material.
- 2.10. Original or historically significant painted signs (ghost signs) on the sides of building shall be retained.

Staff Comment

The proposal maintains distinctive architectural features. Although the 2nd Avenue entrance has become more commonly utilized due to the location of the interstate on-ramps, the 3rd Street entry will remain and will continue to be utilized as an entry for the building, though perhaps not the primary entrance. Because the appearance will remain the same, staff finds that this meets the intent of that guideline. The applicant is proposing to only replace features that are missing or beyond repair with similar materials. The applicant has specifically noted that the remaining ghost signs on the north side of the building will be retained and protected.

Façade Materials

Requirement

- 2.12. Abrasive cleaning techniques, such as sandblasting, soda blasting, or high-pressure water wash shall not be used under any circumstances.
- 2.13. Façade cleaning methods that are considered to be gentle, non-abrasive methods such as a low pressure (100 psi or less) water wash shall be used.
- 2.16. Mortar joints shall only be repointed where there is evidence of a moisture problem or when a substantial amount of the mortar is missing.
- 2.17. Mortar joints shall be cleared with hand tools. The use of electric saws and hammers to remove mortar can seriously damage the adjacent brick and are inappropriate.
- 2.18. Replacement mortar shall duplicate the original mortar's composition, color, texture, joint width, and joint profile.
- 2.19. When patching an area of historic brick wall, the new brick and mortar shall match the original brick and mortar in material, color, profile, dimension, and texture.

Other Considerations

- 2.20. Chemical cleaning will be considered only in consultation with CPED. Consultation includes an agreement on the area to test the treatment, reviewing the results, and developing an agreed upon process to complete the cleaning.

Staff Comment

The applicant's proposal meets the guidelines for façade materials with a few minor exceptions. General cleaning of the masonry is not proposed; cleaning will be limited to portions of the exterior that will be repaired. The applicant will utilize a low-pressure water spray (100-400 psi) to prepare and rinse these areas. A chemical cleaner will then be utilized in these areas of masonry repair to remove any excess mortar smears. While the guidelines recommend that only 100 psi or less water washes be utilized, a National Park Service preservation brief for masonry cleaning notes that low-pressure washes are generally no higher than 400 psi.¹ Because the washing will be limited to only areas of repair, staff finds that a low-pressure water wash up to 400 psi will not cause undue harm to the masonry.

The applicant is proposing to remove mortar using hand-held mechanical tools rather than hand tools. The masonry contractor will create a removal demonstration mockup for approval by the architect and qualified historic masons with experience working on historic buildings will perform the mortar removal. Staff finds that the applicant has provided sufficient information to ensure that this approach meets the intent of the guidelines and will adequately protect the historic masonry.

Fenestration – Entryways

Requirement:

- 2.34. Original or historically significant entryways and doorway configurations shall be retained.
- 2.35. Original or historic features of the entryway and storefront including trim and other architectural features shall be retained.

Advisory:

- 2.40. If original entryways were altered, the preferred treatment is to restore them to their original condition based on historic photos or other evidence.

Other Considerations:

- 2.42. Replacement features of the entryway and storefront such as trim that replicate existing features will be considered.

Staff Comment

¹ Robert C. Mack, FAIA, and Anne Grimmer, "Assessing Cleaning and Water-Repellent Treatments for Historic Masonry Buildings," *National Park Service Preservation Brief*, <http://www.nps.gov/tps/how-to-preserve/briefs/1-cleaning-water-repellent.htm>

The proposal retains the original 3rd Street entry with Doric columns. The applicant is also proposing to repair the columns of this entry which are currently cracking. Because the entablature is currently enclosed in plywood, the existing condition is unknown. The applicant plans to remove the plywood, stabilize whatever material remains, and re-enclose the entablature in plywood to prepare for a future restoration. To ensure that the re-enclosure of the entablature with plywood is only temporary, staff recommends a condition of approval that requires that restoration occur within the two-year period of decision for this Certificate of Appropriateness.

Roofs & Parapets

Other Considerations:

- 2.66. When a parapet or cornice is missing, replacements will be considered based on historic photos or other evidence.

Staff Comment

The proposal is consistent with this guideline for replacing missing parapets and cornices. The proposed cornice attempts to restore the original cornice based on historic photos and evidence gathered from nearby similar historic building cornices.

Accessory Structures

Requirement:

- 2.76. Accessory structures including but not limited to storage buildings and dumpster enclosures shall not be visible from the public right of way and shall not obscure the building's features.
- 2.77. Accessory structures shall be compatible to the primary building or structure. Such compatibility shall be determined by architectural style, colors, materials and finishes.

Staff Comment

Due to the unique site constraints of this building, the refuse containers for the apartment building are currently located in the public right-of-way at the southwest corner of the building near the intersection of 3rd Street and 2nd Avenue. The applicant has proposed an alternate location for the dumpsters on the opposite side of the 3rd Street entrance. The Department of Public Works has confirmed that there is sufficient room for snow removal and pedestrian traffic to construct an enclosure in the alternate location indicated on the site plan. An encroachment permit would be required from Public Works in order to construct an enclosure in the public right-of-way. Staff recommends that a condition of approval be included which requires that staff administratively approve a design for the trash enclosure which is compatible with the style, colors, materials, and finishes of the subject building.

The *Design Guidelines for On-Premise Signs and Awnings* were adopted in 2003. Signs that do not meet the design guidelines require Certificate of Appropriateness approval. The following guidelines apply to this proposal:

Wall Signs:

Location. Wall signs should be located between the first and second floor and should not be higher than fourteen (14) feet, except where the historic sign band is higher. Wall signs should not conceal architectural features or obstruct openings.

Size. Wall signs should be no more than two (2) feet high and thirty-two (32) square feet in area and should not extend outward from the building more than eight (8) inches.

Materials. Wall signs may be constructed of wood, metal, painted fiberglass or painted plastic.

Installation. Wall signs should be attached to the building through the mortar joints. If illuminated, a wall sign should be placed adjacent to or over a permanent mounting plate for electrification. Electrical conduit and lighting fixtures should be attached to the top of the wall sign, and should not be attached to the building. Wall signs should not be painted directly on the surface of the building, except as part of the maintenance or restoration of an existing historic sign.

Staff Comment

The proposed vertical wall sign does not meet the overall size limitation for wall signs or the maximum height of wall signs. The proposed sign is 133 square feet in size and would be located 64 feet above grade. The sign is designed to appear much like the historic painted "Tibbs Factory" sign in the 1912 photo, but would be differentiated as it will not be painted to the surface of the building but rather would be an aluminum sign. It will be installed into mortar joints to minimize impact on the masonry of the building and would not be illuminated. A variance of sign height will also need to be applied for and approved by the Zoning Board of Adjustment if approved by the HPC.

Projecting Signs:

Location. Projecting signs should be located near a building entrance and should not be higher than fourteen (14) feet. Projecting signs should not conceal architectural features or obstruct openings, and should not be suspended from the soffit.

Size. Projecting signs should be no more than twelve (12) square feet in area and should not project more than four (4) feet from the building. The thickness of a projecting sign should not exceed eight (8) inches.

Materials. Projecting signs may be constructed of wood, metal, painted fiberglass or painted plastic.

Installation. Projecting signs should always use a single permanent mounting plate.

Staff Comment

The proposed projecting sign does not meet the location guideline. The proposed projecting sign would be located approximately 17 feet above grade and would be connected to an existing metal pulley which sits about 20 feet above grade. The sign would be attached to the pulley and the sign height proposed will allow the projecting sign to better highlight the existing pulley feature. It will be attached to a permanent mounting plate. The height is proportional to the pulley location. Additionally, the first floor is almost 20 feet in height so the height of the sign is proportional to the first floor height and the location of the first floor window headers. Staff finds that the location of the sign helps to highlight a unique feature of the building. The sign also meets the applicable zoning code requirements.

Awnings and Awning Signs

Location. Awnings should fit within the window or door opening.

Number of awnings. The number of awnings may not exceed the number of window or door openings.

Number of awning signs. Awning signs are limited to ground floor awnings. There should be no more than one sign per awning. Awning signs should be no more than six (6) square feet in area. Where there are multiple awning signs on a building, all signs should be located in the same or similar position on the awnings.

Materials. Awnings should be constructed of coated or uncoated cloth fabric.

Installation. Awning hardware should be attached to the window or door frame and should never damage masonry. Awnings should not be attached to or cover any part of the building wall.

Illumination. Awnings and awning signs should not be illuminated.

Awning shape. Awnings should project downward and outward from the openings in straight lines unless they are reflecting the curved shape of the opening. The projection of an awning should be less than its height. An awning drop or skirt should not exceed twelve (12) inches.

Staff Comment

The proposal for a new awning at the 2nd Avenue entrance meets the guidelines for awnings listed above.

5. *The alteration will not materially impair the significance and integrity of the landmark, historic district or nominated property under interim protection as evidenced by the consistency of alterations with the recommendations contained in The Secretary of the Interior's Standards for the Treatment of Historic Properties.*

The following standards apply to this proposal:

- A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
- The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
- Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
- Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.
- Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
- New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
- New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

The building was historically utilized as a warehouse and factory but has been used as apartments since the late 1980s. The alterations proposed do not change defining characteristics of the building and the historic character of the property will be maintained. Repair of deteriorated features is proposed where possible, and deterioration warranting replacement has been substantiated with evidence provided in the application. The alterations proposed will not materially impair the significance and integrity of the historic district as evidenced by the consistency of alterations with the recommendations contained in the *Secretary of the Interior's Standards for the Treatment of Historic Properties*.

6. *The certificate of appropriateness conforms to all applicable regulations of this preservation ordinance and is consistent with the applicable policies of the comprehensive plan and applicable preservation policies in small area plans adopted by the city council.*

The certificate of appropriateness would apply to all applicable regulations of the preservation ordinance and is consistent with the following applicable policies of the comprehensive plan:

Heritage Preservation Policy 8.1: Preserve, maintain, and designate districts, landmarks, and historic resources which serve as reminders of the city's architecture, history, and culture.

8.1.1 Protect historic resources from modifications that are not sensitive to their historic significance.

Heritage Preservation Policy 8.10: Promote the benefits of preservation as an economic development tool and a method to achieve greater environmental sustainability and city vitality.

8.10.5 Prioritize the reuse of the city's historic buildings as a strategy for sustainable development.

7. *Destruction of any property. Before approving a certificate of appropriateness that involves the destruction, in whole or in part, of any landmark, property in an historic district or nominated property under interim protection, the commission shall make findings that the destruction is necessary to correct an unsafe or dangerous condition on the property, or that there are no reasonable alternatives to the destruction. In determining whether reasonable alternatives exist, the commission shall consider, but not be limited to, the significance of the property, the integrity of the property and the economic value or usefulness of the existing structure, including its current use, costs of renovation and feasible alternative uses. The commission may delay a final decision for a reasonable period of time to allow parties interested in preserving the property a reasonable opportunity to act to protect it.*

No aspects of the proposal constitute a destruction of property.

Before approving a Certificate of Appropriateness, and based upon the evidence presented in each application submitted, the Commission shall make findings that alterations are proposed in a manner that demonstrates that the Applicant has made adequate consideration of the following documents and regulations:

8. *The description and statement of significance in the original nomination upon which designation of the landmark or historic district was based.*

Evidence presented in the application submitted and the alterations proposed demonstrate that the applicant has made adequate consideration of the description and statement of significance of the Warehouse Historic District and the contribution of this building to the significance of the district.

9. *Where applicable, adequate consideration of Title 20 of the Minneapolis Code of Ordinances, Zoning Code, Chapter 530, Site Plan Review.*

The alterations proposed do not trigger Site Plan Review.

10. *The typology of treatments delineated in the Secretary of the Interior's Standards for the Treatment of Historic Properties and the associated guidelines for preserving, rehabilitating, reconstructing, and restoring historic buildings.*

The application submitted presents evidence that the applicant has adequately considered the applicable guidelines for the rehabilitation and restoration of masonry, roofs, entrances, and porches.

Before approving a Certificate of Appropriateness that involves alterations to a property within an historic district, the Commission shall make findings based upon, but not limited to, the following:

11. *The alteration is compatible with and will ensure continued significance and integrity of all contributing properties in the historic district based on the period of significance for which the district was designated.*

The proposed alterations are compatible with and will ensure continued significance and integrity of all contributing properties in the Warehouse Historic District based on the period of significance of 1865 to 1930. See findings 1-4 for more detailed analysis.

12. *Granting the certificate of appropriateness will be in keeping with the spirit and intent of the ordinance and will not negatively alter the essential character of the historic district.*

Granting the certificate of appropriateness will be in keeping with the spirit and intent of the preservation ordinance and will not negatively alter the essential character of the district. With repair to the masonry and other exterior materials on the building, the building's longevity will be ensured. The cornice that has been missing for many years will be restored with a period-appropriate design based on photographic documentation. Entrance modifications will help to highlight the commonly utilized 2nd Avenue entrance while maintaining and improving the historic 3rd Street entrance. Moving the dumpsters and constructing an enclosure will greatly improve the appearance of the building and the pedestrian right-of-way around the building. New signage will be in keeping with historic signs on the building and will help emphasize a unique existing feature on the building.

13. *The certificate of appropriateness will not be injurious to the significance and integrity of other resources in the historic district and will not impede the normal and orderly preservation of surrounding resources as allowed by regulations in the preservation ordinance.*

The certificate of appropriateness will not be injurious to the significance and integrity of other resources in the historic district. It will not impede the normal and orderly preservation of surrounding resources as allowed by regulations in the preservation ordinance.

RECOMMENDATIONS

Recommendation of the Department of Community Planning and Economic Development for the Certificate of Appropriateness:

The Department of Community Planning and Economic Development recommends that the Heritage Preservation Commission adopt the above findings and **approve** the Certificate of Appropriateness to allow masonry repair, entrance alterations, cornice restoration, and new signage at 200 3rd Street North, subject to the following conditions:

1. Approval of the final plans by the Department of Community Planning and Economic Development.
2. Dumpsters shall be relocated to the alternate location on the north side of the 3rd Street entrance shown on the site plan and adequately screened. The applicant shall work with staff to design a dumpster enclosure which is compatible with the style, colors, materials, and finishes of the subject building.
3. The proposed plywood re-enclosure of the entablature shall be only temporary. Restoration of the 3rd Street North entablature shall occur within the two-year period of decision for this Certificate of Appropriateness approval. The applicant shall work with staff to determine an appropriate design for the restoration of the entablature.

4. By ordinance, approvals are valid for a period of two years from the date of the decision unless required permits are obtained and the action approved is substantially begun and proceeds in a continuous basis toward completion. Upon written request and for good cause, the planning director may grant up to a one year extension if the request is made in writing no later than March 24, 2017.
5. By ordinance, all approvals granted in this Certificate of Appropriateness shall remain in effect as long as all of the conditions and guarantees of such approvals are observed. Failure to comply with such conditions and guarantees shall constitute a violation of this Certificate of Appropriateness and may result in termination of the approval.

ATTACHMENTS

1. Zoning map
2. Oblique aerial
3. 1912 Photo
4. 1980s Photo
5. Existing photo
6. Sanborn maps, 1912 and 1951
7. Written description and findings submitted by applicant
8. Site plan
9. Building elevations
10. Sign plans
11. Masonry plan and materials
12. Existing photos
13. Correspondence



Warehouse Historic District

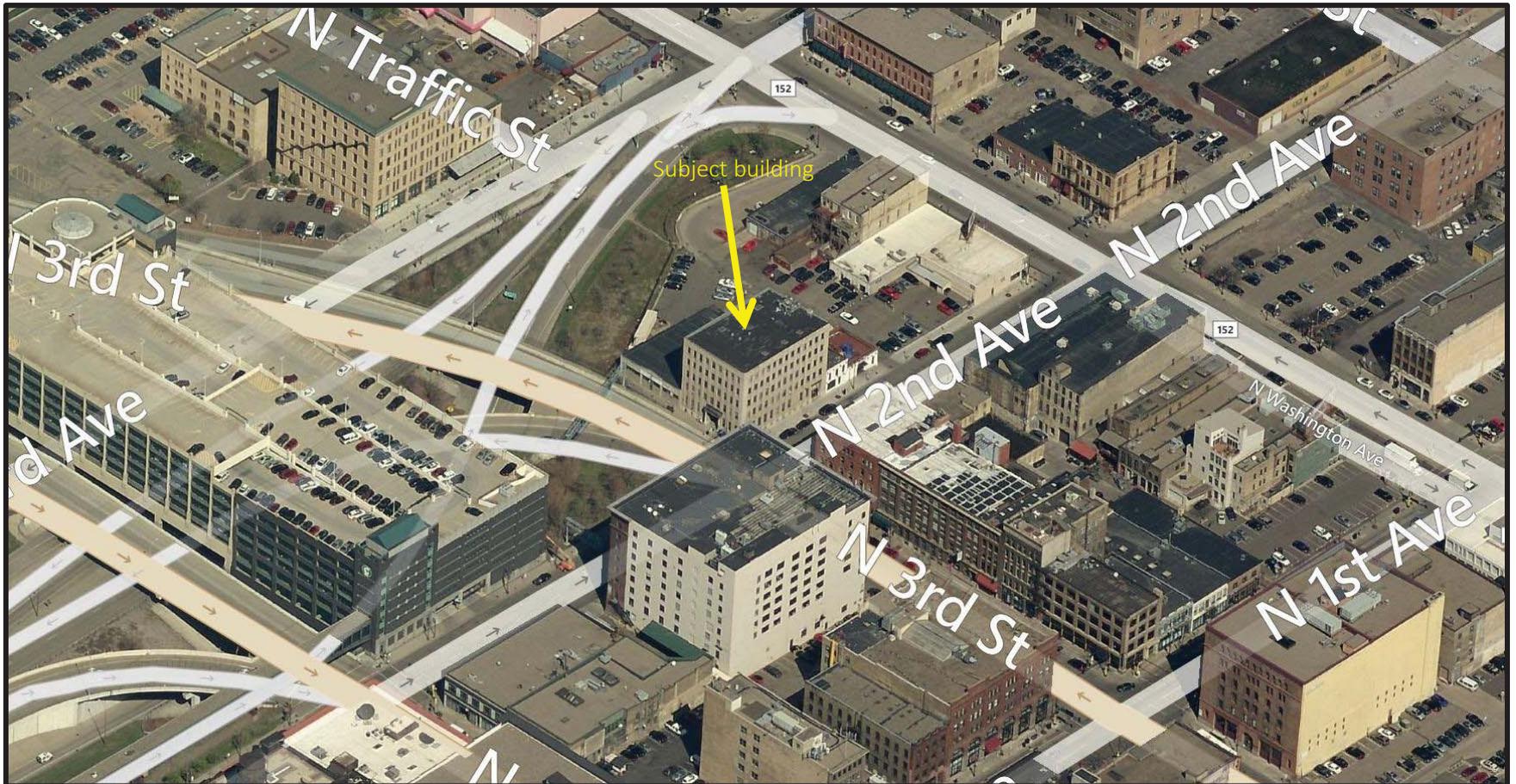


PROPERTY ADDRESS
200 3rd Street North

FILE NUMBER
BZH-28573

200 3rd Street North

BZH-28573



Courtesy Bing Maps



Third Street North from Second Avenue North: 1912
Courtesy Minnesota Historical Society



Intersection of 2nd Avenue N. and 3rd Street N. circa 1980s
- Note plywood enclosures at 3rd Street N. entrance entablature and building parapet



View of south and east elevations from intersection of 3rd Street N. and 2nd Avenue N.

121

MINN 004

149

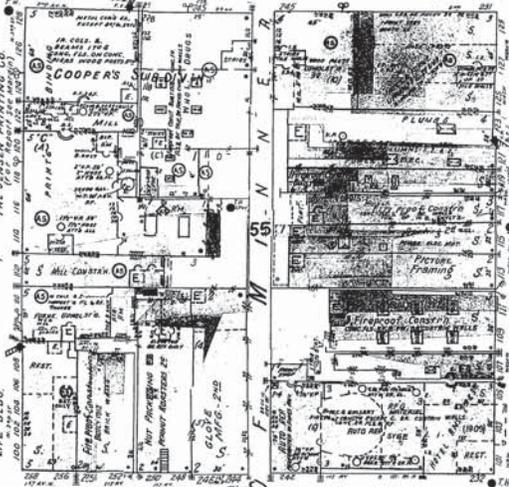
3RD AV. N.

200 3rd Street
North (1951)

THE JENSEN PRINTING CO.
114-120 N. 3RD ST.
L-NIGHT JOURNAL REPORTING HOURLY TO
5:30 P.M. CLEVELAND, COLUMBUS & CINCINNATI.
ELECTRIC HEAT-STEAM FUEL COKE.

120

N. 3RD ST.



WASHINGTON AV. N.

122

1ST AV. N.

MARTIN BROS. CO.

MARTIN BROS. CO.
121-123
MFRS OF MENS WARDING CLOTHING AND
JOBBER'S OF FURRIERIES & NOTIONS
NO REFRIGERATION. POWER AND LIGHTS ELECTRIC.
HEAVY LOW PRESSURE STEAM. GLASS BEVERAGE
SPRINKLERS WET SYSTEM. SUPPLIED BY CITY'S
COUN. AND I-SHOWER STEAMER COOK. NO OTHER
SOURCE OF SUPPLY. FENCE SPACED 8'-10'-0"
& REINFORCE CHEMICAL EXTINGUISHERS EACH FLOOR.

54

HENNEPIN AV.

Scale of Feet.

See Volume Three

WASHINGTON AV. S.

200 3rd Street North/280 2nd Avenue North
Minneapolis, Minnesota

HERITAGE PRESERVATION APPLICATION

Statement of proposed use and description of the project:

200 3rd Street N. (also known as 280 2nd Avenue N.) was designed by J.I. Stene in the Neo-Classical Revival style and built in 1907. It operated as a clothing-and-furnishing goods factory under Tibbs, Hutchings & Co. until the company folded in 1911. It was later used to fabricate Lee denim apparel from around 1919 to 1967. It has housed apartments since the 1980s. Remnants or “ghosts” of large-scale historic painted signage from its various clothing factory tenants remain on the west side of the building.

200 3rd Street N. is prominently located at the intersection of 2nd Avenue N. and 3rd Street N. With the construction of the I-94 and I-394 on-ramp and the building’s shift to housing, the primary pedestrian building access was relocated from 3rd Street N. to an entrance on 2nd Avenue N. located away from the busy intersection. Other modifications to the building have included the removal and/or modification of character-defining elements – such as metal cornice, the cast-concrete entrance portico on 3rd Street N., and painted signage – prior to the building’s designation as “contributing” to the Minneapolis Warehouse Historic District. Finally, areas of the masonry exterior have deteriorated over time leaving the building susceptible to moisture infiltration.

This project maintains the building’s current use as housing and proposes rehabilitating the exterior to:

- Address general masonry maintenance issues including the repair and/or replacement of deteriorated masonry and repointing to match existing.
- Stabilize and repair the cast-concrete 3rd Street N. entrance.
- Restore the missing cornice on the building’s two primary elevations and address failing parapet parging and copings on the rear elevations.
- Replicate a vertical section of the original large-scale wall signage facing 2nd Avenue N. (A variance will be required due to the sign’s size and mounting height).
- Improve visibility of the 2nd Avenue N. entrance with industrial lighting, a projecting sign, and an awning.

Exterior masonry repairs – While the building’s brick and stone masonry is generally in fair condition, portions of the building are in need of repair. Proposed masonry work includes:

- Stone Pilaster Bases – Stone located at the base of each pilaster on the two primary facades has deteriorated due to on-going exposure to moisture and sidewalk salt. Pilaster bases will be fully repointed, and failing stone will either be patched or replaced with pre-cast stone depending on existing condition. Patching materials and replacement stone will replicate existing stone base.
- Stone Window Sills – Stone sills found on the two primary facades have started to erode. Sills that have lost their integrity will be removed and replaced with replica cast stone sills. Approximately 20± sill replacements are proposed.
- Brick – A number of existing brick, primarily at the parapet, have started spalling. Portions of the brick parapet covered with a cementitious parging are loose and unstable. In addition, brickwork found above non-historic punched window openings on

the west elevation is missing or loose due to the lack of header treatment (no arch or lintel installed at time of installation). This project will remove non-historic parging, replace deteriorated and/or missing brick and properly anchor and rebuild areas of loose brick. New brick will match existing as closely as possible.

- Mortar – On each elevation, approximately 10% of all mortar joints need to be repointed with more extensive repointing required at the building parapet. New Type N mortar will match existing color, texture, profile, and tooling.
- Cleaning – Overall general masonry cleaning is not included in the current scope of work. Repaired areas will undergo a final cleaning with a ProSoCo product to remove mortar smear and other signs of construction.
- Ghost signage found on the west elevation will be protected from construction damage.
- Samples, mock-ups, and shop drawings of new brick and stone, repointing mortar, and cleaning will be submitted for review by the Historic Architect prior to starting any work.
- See 3rd Street N. Entry for cast concrete column and entablature masonry repairs.

3rd Street N. Entry repairs – This entrance now serves as the secondary means of egress due to its proximity to I-94 and concerns over traffic and resident safety. It is flanked by Doric columns and covered by an entablature that was modified at some point in its history. Its cast-concrete columns have been “patched” with sealant to address areas cracking while the capitals are damaged and missing material, most likely a result of entablature modifications. The original cast-concrete entablature’s condition is unknown since it is completely covered by an Art-Deco inspired plywood enclosure installed prior to its sale in 1988. From the areas that can be viewed, it appears the entablature was stripped of some of its historic detailing and is in poor condition with flaking material. Proposed work includes:

- Columns and other exposed cast-concrete – Repair cracks and cover with a thin cementitious skim-coat to match the cast concrete and provide a uniform appearance.
- Entablature – Temporarily remove the plywood enclosure, remove loose materials, stabilize remaining cast-concrete to allow for future restoration, and re-enclose with plywood, or another material acceptable to the HPC, to protect from the elements.
 - The property owner requests that he and his mason work with HPC staff to finalize stabilization measures (scope and treatment unknown until the enclosure is removed) and an acceptable re-enclosure system in plywood or another material acceptable to the HPC.

Cornice restoration – The building originally had a metal cornice on its south and east elevations and coping on its north and west elevations. Based on an historic photograph, the cornice was dark-toned but lighter than signage backgrounds. (Physical evidence found on the west elevation indicates that the signage was black and white lettering and borders.) At some point prior to its most recent sale in 1988, the metal cornice was removed and the parapet covered with Art Deco-inspired plywood enclosure. The parapet walls no longer contain any original cornice or non-historic plywood enclosure remnants. A cementitious parging currently covers sections of the west and north parapet, and the entire parapet is capped with terra cotta coping. The terra cotta is in deteriorated condition and includes sections of missing cap allowing moisture into the exterior masonry load-bearing walls. Following masonry repairs, this project will:

- Cornice – Install a new sheet metal cornice on the two primary facades. The new period-appropriate cornice design is based on:
 - Review of existing photo documentation.

- Assessment of existing cornice found on nearby contributing historic buildings of similar age, design, and style.
- Research into sheet metal standards from the period.
- Coping – Replace the glazed terra cotta coping and parging on the secondary facades with a simple sheet metal coping system to enclose and protect the masonry parapet.
- New cornice and coping will consist of sheet metal with a Kynar finish in a dark brown (similar to existing exposed metal found on the building’s exterior) as selected from the manufacturer’s standard range of colors.

Large-scale Signage – Based on existing photo documentation from the early 1900s and ghost sign remnants, the building had horizontal large-scale painted signage near the cornice on three elevations and vertical signage at the corner of 2nd Avenue N. and 3rd Street N. It was black with white lettering and borders. It also had painted large-scale rectangular advertising on its west elevation dating to the Warehouse Historic District’s period of significance. This project serves to:

- Retain and protect remaining ghost signage found on the west elevation.
- Change the building name to “Lee Lofts” to reflect its nearly 50-year use as a Lee denim overalls factory. This name will be used on all signage.
- Install wall-mounted vertical signage at the corner of 2nd Avenue N. and 3rd Street N. The new signage will replicate the traditional vertical painted sign height, width, and distance above grade (27’-0” tall by 5’-5” wide and mounted approximately 41’-0” above grade) but differs in material and verbiage. The painted black-and-white aluminum sign will be fastened into the building’s mortar joints. This design serves to differentiate it from remaining historic painted signage found within the district and on the building. It also permits easy removal at a later date with minimal repair or damage to the building’s historic fabric.
- While the full extent of historic painted signage will not be replicated at this time, it is still significantly more than what is permitted by Minneapolis zoning code and the *Design Guidelines for On-Premise Signs and Awnings*. A variance will be requested for the proposed work.

2nd Avenue N. Entrance Improvements and Signage – The 2nd Avenue N. entrance currently serves as the accessible and primary building entrance. A vertical lift at this entrance provides ADA access from grade to the first floor which is approximately four feet higher. It is not clearly identifiable as the main entrance due to its distance from the 2nd Avenue N. and 3rd Street N. intersection and recessed nature. The opening appears to have originally contained much taller fenestration and currently contains a metal door with glazed panel, two sidelights, and squat transom. The remaining area above has been infilled and coated with a stucco-like material. To improve visibility and general appearance, the owner proposes to:

- Install a projecting painted black-and-white aluminum sign (3’-6” wide by 1’-6” tall by approximately 2” thick) with the words “Lee Lofts” installed below an existing metal pulley located just south of the entrance. It will be mounted approximately 15’-6” above grade. This exceeds the 14’-0” mounting height identified in the guidelines, but is proportional to the pulley and also corresponds to first floor window headers whose elevation is set by the raised first floor.
- Install a canvas awning, most likely to be striped in navy and white, above the entrance to increase its visibility along 2nd Avenue N. and provide additional shelter for guests and residents.
- Replace existing exterior lighting with period-appropriate industrial gooseneck lighting.

Windows – Failing sealant will be replaced on all windows in conjunction with masonry repairs. Sealant color will match existing. Please note that no work is planned for the windows themselves.

Dumpsters – HPC staff raised concerns about the existing dumpster location and its visibility during the pre-application meeting. The building has a very constricted site (see site plan), and the only feasible dumpster location is somewhere along its south elevation facing 3rd Street N. The current location is preferred due to City of Minneapolis snow removal activities and garbage truck access limitation. Adjacent structures, both contributing to the Minneapolis Warehouse Historic District, are built up to the building's west and north elevations and prohibit access to side elevations. The 2nd Avenue N. elevation now functions as the primary elevation due to one-way traffic patterns. Finally, the building's two entrances are historic and not designed to accommodate interior dumpster storage.

- Given the site, the owner proposes to leave the dumpsters in their current location. He is open to installing a visually compatible dumpster screen, however, the screening device would surpass the property's lot line to encroach on the public right-of-way.
 - The property owner requests that he work with HPC staff to come up with an acceptable dumpster location and screening solution.

Please see the attached MacDonald & Mack, American Masonry, and DeMars Sign documents for product specifications, color sheets, plans, and details.

200 3rd Street North/280 2nd Avenue North
Minneapolis, Minnesota

SPECIFIC APPLICATION REQUIREMENTS

In addition to the General Application Requirements the following are required:

CERTIFICATE OF APPROPRIATENESS

A written statement by the applicant which addresses the following required findings:

1. The alteration is compatible with and continues to support the criteria of significance and period of significance for which the landmark or historic district was designated.

The Minneapolis Warehouse Historic District is significant as an early example of commercial growth as the city's warehouse and wholesaling district. The district's buildings, spanning from 1865 to 1930, demonstrate every major architectural style from the late nineteenth to early twentieth century, changes in structural building materials, and advances in design. Many of the buildings were designed by the City's most talented and successful architects.

200 3rd Street North (also known as 280 2nd Avenue North), originally built as a clothing factory, falls within the district's Twentieth Century Warehouse Area. This area is characterized by rectangular buildings with larger footprints and a greater number of stories than those found within the Nineteenth Century Warehouse Area and reflects the era's rapid industrial growth and advances in building technology. Many buildings within this area are also ornately detailed and serve as physical reminders of the wealth generated by the industrial boom.

The proposed work at 200 3rd Street North is compatible with and continues to support the historic district's criteria of significance and period of significance. Missing historic building features, such as metal cornice, will be restored based on photographic documentation and research, sections traditional signage will be replicated, deteriorated exterior masonry will be repaired to match existing, and the two existing building entrances will be repaired and rehabilitated to improve building access.

2. The alteration is compatible with and supports the interior and/or exterior designation in which the property was designated.

200 3rd Street North is listed as a contributing building within the Minneapolis Warehouse Historic District. It does not have individual interior and/or exterior designation. The five-story brick wholesale/factory building dating to 1907 was designed by J.I. Stene in the Neo-Classical Revival style. This is evidenced by its corner piers, pilaster columns, and 3rd Street entrance with Doric columns with full entablature. Prior alterations noted in the *Minneapolis Warehouse Historic District Designation Study* include removal of the original cornice, window replacement in 1988, and partial removal and enclosure of the 3rd Street entablature. In addition to these alterations, the Interstate 94 and 394 on-ramps partially impact the site's integrity. Despite these modifications, the building retains enough integrity to convey its and the district's significance.

As mentioned in Finding 1, the proposed work seeks to repair and rehabilitate existing building entrances, repair deteriorated exterior masonry, and restore missing cornice, and replicate sections of traditional signage. It is compatible with and supports the building's designation and serves to rehabilitate and restore many of the building's character-defining features. The entablature will be retained allowing for restoration at a later date.

3. The alteration is compatible with and will ensure continued integrity of the landmark or historic district for which the district was designated.

The proposed alterations will restore much of the building's defining exterior character by installing period- and style-appropriate replica metal cornice, replicating a vertical section of painted signs from the building's manufacturing era, repairing the 3rd Street entrance, rehabilitating the 2nd Avenue entrance, and repairing deteriorated masonry. This work is compatible with and ensures the continued integrity of exterior features identified as contributing to the historic district, and of the Twentieth Century Warehouse Area in particular.

4. The alteration will not materially impair the significance and integrity of the landmark, historic district or nominated property under interim protection as evidenced by the consistency of alterations with the applicable design guidelines adopted by the commission.

The alterations will not materially impair the significance and integrity of the historic district as evidenced by consistency with the *Minneapolis Warehouse Historic District Design Guidelines, Design Guidelines for Existing Buildings*. Please note that no fenestration changes, rooftop additions, or side and rear building additions are proposed at this time (2.21-2.61 and 2.68-2.75).

General Guidance (2.1-2.10): Existing distinctive architectural features noted in Finding 2 shall be preserved. The two existing pedestrian building entrances shall remain with minor rehabilitation and repairs as outlined in the Statement of Proposed Use and below.

- Please note that full extent of the 3rd Street N. entrance cast-concrete entablature's condition is currently unknown but appears to have been partially removed or significantly damaged during previous building updates. It is currently enclosed in deteriorated, non-historic plywood dating to the late 1980s or earlier. The owner proposes to stabilize and re-enclose the remaining cast-concrete construction to protect it until future restoration is economically feasible.
 - o The property owner requests that he work with HPC staff to come up with an acceptable enclosure solution once stabilization is complete.

Traditional painted "ghost" signs found on the west elevation shall be retained to the fullest extent possible allowed by masonry restoration activities (see Façade Materials below). In addition, replication of missing historic signage located on the 2nd Avenue N. and 3rd Street N. elevations is proposed (see Wall Signs below).

Façade Materials (2.11-2.20): Exterior masonry repairs will only address major areas of deterioration. This is limited to patching and/or replacing badly deteriorated brick and stone to match existing; rebuilding damaged sections of brick parapet and window headers to match existing; repointing open mortar joints to match existing; repairing and skim-coating cast-concrete column components at the 3rd Street N. and stabilizing the cast-concrete entablature prior to re-enclosing; and final masonry cleaning only at areas of repair. See the enclosed masonry drawings and specifications for additional information.

Roofs & Parapets (2.62-2.67): Original cornice and parapet caps are missing from the building. The design of the painted metal replacement cornice proposed for the 2nd Avenue N. and 3rd Street N. parapets is based on historic photos, remaining cornices found on other buildings, and historical research. A simplified painted metal cornice/coping is proposed for the two non-primary façades. It will be in a dark brown/bronze similar in color to the lintel found above the 2nd Avenue N. entrance.

Accessory Structures (2.76-2.77): Due to the building's unique site constraints, no other locations other than its current placement on the sidewalk at the corner of 2nd Avenue N. and 3rd Street N. are available for a dumpster enclosure. A screening device compatible with the primary building in terms of color, materials, and finish can be erected around the dumpster to improve its impact to the historic district. The property owner requests that he work with HPC staff to come up with an acceptable design solution.

The alterations will also not materially impair the significance and integrity of the historic district as evidenced by consistency with the *Design Guidelines for On-Premise Signs and Awnings*:

General:

- a) Sign message for all signs is limited to the name of the building "Lee Lofts."
- b) The large vertical sign replicates a portion of the historic signage, and like the historic signage, indicates the building's use.
- c) Two non-illuminated signs are proposed on the 2nd Avenue N. elevation: the large vertical sign replicating a portion of historic signage and a much smaller projecting sign located near the building's primary pedestrian entrance.
- d) The large vertical sign is located in a traditional sign location (see historic photograph). The remaining signage is also located on the primary building façade adjacent to the street and does not obscure or damage existing architectural features.
- e) All signage contains a black field with white lettering and border similar in design to traditional building signage (see historic photograph and ghosting).
- f) All new signage and awning framing is aluminum and will be anchored to the building at mortar joints with lag bolts. The projecting sign will be attached to a permanent mounting plate per the design guidelines.
- g) None of the proposed signage will be illuminated.

Guidelines for Specific Types of Signs:

- a) Wall Signs – One unilluminated painted aluminum vertical wall sign is proposed for the building at the corner of 2nd Avenue N. and 3rd Street N. It will not be painted directly onto the building, and will instead be attached at existing mortar joints to allow for easy removal and repair at a future date. The vertical sign replicates the historic signage in width, height, and mounting height. It is 27'-0" tall by 5'-5" wide and a total of 146.25SF. It is mounted approximately 40'-9" above grade.
 - o *A variance is requested to partially replicate a portion of the traditional signage to the proposed size and height.*
 - b) Projecting Signs – A 3'-6" wide by 1'-6" high projecting painted metal sign (5.25SF) is proposed near the 2nd Avenue N. building entrance. It will be less than 2" thick. It shall be installed using a single permanent mounting plate set into existing mortar joints. Its height at about 15'-6" above grade exceeds the 14'-0" in the guideline and is based on its relationship to and design context with an existing pulley and height of the existing building entrance and windows. These existing heights are based on the elevation of the raised first floor.
 - o *Lowering the sign to 14'-0" negatively changes its context, and a variance is requested to maintain its proposed height.*
 - e) Awnings and Awning Signs – The proposed canvas awning will fit within the existing entrance opening. It will be attached into existing mortar joints/non-historic stucco in-fill framing as no window or door frames exist above the non-historic entry fenestration. The 6'-0" high by 10'-11" wide awning will project diagonally downward and outward from the opening with a horizontal projection of 1'-6" from the building. The awning skirt is 12" high.
5. The alteration will not materially impair the significance and integrity of the landmark, historic district or nominated property under interim protection as evidenced by the consistency of alterations with the recommendations contained in The Secretary of the Interior's Standards for the Treatment of Historic Properties.

The Secretary of the Interior's *Standards for the Treatment of Historic Properties, Standards for Rehabilitation* have been applied to this project:

1. The property will remain as residential apartments (its use since the 1980s).
2. No distinctive exterior materials, features, or spatial relationships will be removed or altered as part of the proposed work. See item 6 below for treatment of deteriorated materials. Missing distinctive features, such as cornice, will be restored.
3. No changes creating a false sense of historical development are proposed.
4. Changes that have acquired historic significance in their own right, such as "ghost" signage on the west elevation, will be retained.
5. Distinctive materials, features, and finishes will be preserved and either 1) repaired as part of this project or 2) stabilized and protected to allow for future restoration.
6. Deteriorated historic features, limited to masonry will be repaired wherever possible. Severely deteriorated brick and stone will be replaced to match existing. Restoration of missing cornice and replication of signage is based on photographic documentation, physical evidence, and research of period-appropriate treatments.
7. No chemical treatments are proposed other than use of a ProSoCo masonry cleaning product at areas of masonry repair.
8. No archeological resources have been identified at this property.

9. No additions or new construction are currently proposed. Proposed repairs at the 3rd Street N. entrance at will repair and stabilize remaining existing historic materials, features, and spatial relationships. Proposed modifications to the 2nd Avenue N. entrance are limited to non-historic materials and features, and will not negatively impact remaining historic features and spatial relationships.
 10. New work is limited to installation of an aluminum sign at a tradition sign location on the primary elevation. It will be installed in existing mortar joints to limit masonry damage and allow for easy removal and joint repair at a future date.
6. The certificate of appropriateness conforms to all applicable regulations of this preservation ordinance and is consistent with the applicable policies of the comprehensive plan and applicable preservation policies in small area plans adopted by the city council.

Minneapolis Code of Ordinance, Title 23, Chapter 599, Heritage Preservation Regulations: This application complies with application procedure requirements (see attached documents and samples), public hearing request, and application fees.

Minneapolis Plan for Sustainable Growth, Section 8. Heritage Preservation: This application specifically relates to Policy 8.1: “Preserve, maintain, and designate districts, landmarks, and historic resources which serve as reminders of the city’s architecture, history, and culture.” Alterations maintain, replicate, and restore the existing building elements that convey its significance within the historic district.

Downtown 2010 Small Area Plan: This application relates to the Downtown’s Physical Setting, Historic Resources Policy 16: “Preserve, restore and reuse historic buildings and sites downtown.” This project reuses the historic building, restores cornice, and replicates sections of traditional signage.

Downtown East/North Loop Master Plan: This application relates to Chapter 7-Phasing and Implementation Plan *Preservation of Remaining Historic Fabric*. No demolition activities are planned as part of this project. Work retains the existing scale and serves to repair, replicate, and/or restore exterior architectural detail. The building is also located within the Springboard Project G area, but will not impact the proposed West Hennepin: Downtown Gateway Development Project.

*The following findings must be addressed if approving a certificate of appropriateness that involves the **destruction, in whole or in part**, of any landmark, property in an historic district or nominated property under interim protection:*

7. The destruction is necessary to correct an unsafe or dangerous condition on the property, or that there are no reasonable alternatives to the destruction. In determining whether reasonable alternatives exist, the commission shall consider, but not be limited to, the significance of the property, the integrity of the property and the economic value or usefulness of the existing structure, including its current use, costs of renovation and feasible alternative uses. The commission may delay a final decision for a reasonable period of time to allow parties interested in preserving the property a reasonable opportunity to act to protect it.

Not applicable – no demolition is planned.

A written statement by the applicant making the findings that alterations are proposed in a manner that demonstrates that the applicant has made adequate consideration of the following documents and regulations:

8. The description and statement of significance in the original nomination upon which designation of the landmark or historic district was based. (Statement addressed on next page)

The proposed alterations take into consideration and will not negatively impact the description and statement of significance regarding the building's contributing status within the Minneapolis Warehouse Historic District outlined in Finding 2. All work maintains its Neo-Classical Revival style features and also serves to restore missing cornice and replicate sections of traditional exterior signage.

9. Where applicable, Title 20 of the Minneapolis Code of Ordinances, Zoning Code, Chapter 530, Site Plan Review.

No Site Plan Review is required for this project.

10. The typology of treatments delineated in the Secretary of the Interior's Standards for the Treatment of Historic Properties and the associated guidelines for preserving, rehabilitating, reconstructing, and restoring historic buildings.

The typology of treatments proposed are in conformance with the *Secretary of the Interior's Standards for the Treatment of Historic Properties, Standards for Rehabilitation* and adhere to the associated masonry, roof, and entrances and porches guidelines regarding:

- Identification, retention, and preservation.
- Protection and maintenance.
- Repair.
- Replacement.
- Design for missing historic features.
- Alterations/additions for the new use.

*In addition, the following findings must be addressed if approving a certificate of appropriateness that involves alterations to a **property within an historic district**:*

11. The alteration is compatible with and will ensure continued significance and integrity of all contributing properties in the historic district based on the period of significance for which the district was designated.

The proposed alterations are limited to exterior masonry repairs, restoration of missing historic cornice, replication of traditional signage, and entrance modifications. These alterations are based on existing photographic documentation, physical evidence both found on the building and within the district, and research into period-appropriate designs and building style. They are compatible with and ensure the continued significance and integrity of the entire district.

12. Granting the certificate of appropriateness will be in keeping with the spirit and intent of the ordinance and will not negatively alter the essential character of the historic district.

The building's existing contributing features will be retained and protected, and missing historic features (such as cornice and signage) will be restored and/or replicated based on physical evidence and photographic documentation in conformance with the City of Minneapolis' Heritage Preservation Regulations outlined in Title 23 of the Minneapolis Code of Ordinances including the referenced *Minneapolis Warehouse Historic District Design Guidelines*, *Design Guidelines for On-Premise Signs and Awnings*, and *The Secretary of the Interior's Standards for the Treatment of Historic Properties, Standards for Rehabilitation*.

13. The certificate of appropriateness will not be injurious to the significance and integrity of other resources in the historic district and will not impede the normal and orderly preservation of surrounding resources as allowed by regulations in the preservation ordinance.

Approval of this certificate of appropriateness and the proposed work will not be injurious to the significance and integrity of other resources in the historic district and will not impede the normal and orderly preservation of surrounding resources as allowed by regulations in the preservation ordinance. As mentioned in previous statements, the alterations are fairly minimal and limited to repair and stabilization, restoration of missing character-defining features, and minor entrance modifications. Replica cornice and signage closely duplicate historic designs, sizes, and profiles while being clearly differentiated as new through choice of materials and installation.

DEMOLIATION OF AN HISTORIC RESOURCE

A written statement by the applicant which addresses the following required findings:

14. That the demolition is necessary to correct an unsafe or dangerous condition on the property, or that there are no reasonable alternatives to the demolition. In determining whether reasonable alternatives exist, the commission shall consider, but not be limited to, the significance of the property, the integrity of the property and the economic value or usefulness of the existing structure, including its current use, costs of renovation and feasible alternative uses.

Not applicable – no demolition is planned.

HISTORIC VARIANCE

A written statement by the applicant which addresses the following required findings:

15. That the variance is compatible with the preservation of the property and with other properties in the area, and that the variance is necessary to alleviate practical difficulties due to special conditions or circumstances unique to the property and not created by the applicant.

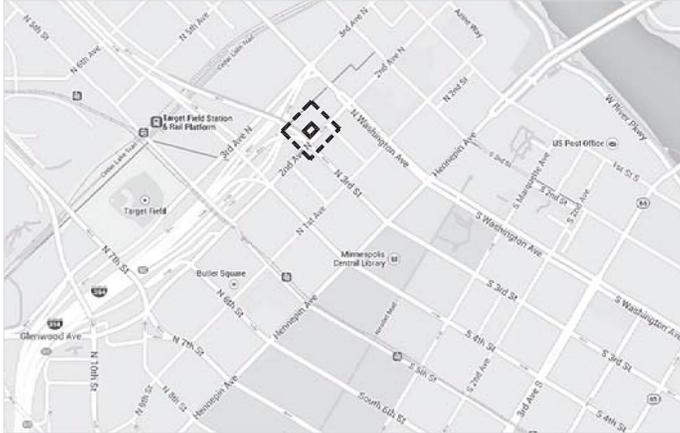
The proposed vertical sign is in conformance with Minneapolis zoning codes and *Design Guidelines for On-Premise Signs and Awnings* with the exception of size/area and mounting

height. Its design is based upon existing documentation of historic signage found on the building in this location and “ghost” signage found on the west elevation. It is also compatible with similar types of historic painted wall signage found throughout the Minneapolis Warehouse Historic District, and a variance will be pursued for this deviation.

The proposed projecting wall sign is mounted at 15'-6" above grade and is higher than the 14'-0" mounting height noted in the guidelines. Its height is based on its relationship to an existing pulley and first floor windows. We will also pursue a variance for this deviation from the guidelines and zoning code.

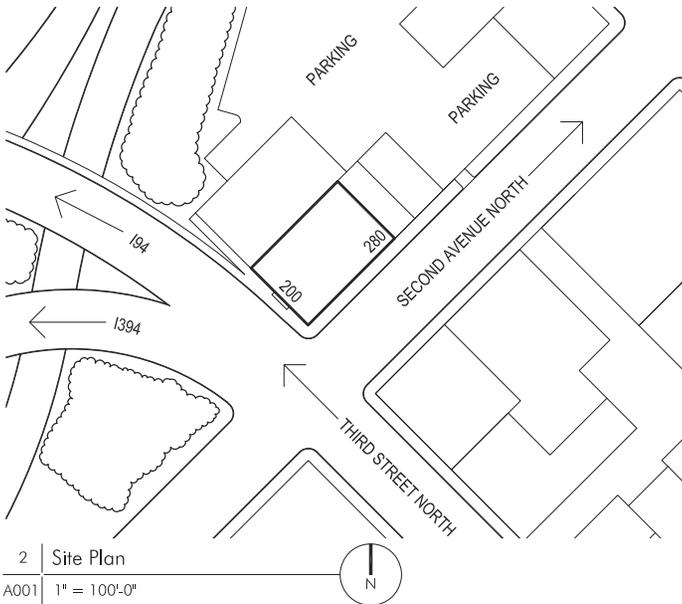
Harmony Lofts - Exterior Modifications and Signage

200 Third Street North/280 Second Avenue North, Minneapolis, Minnesota



1 | Location Map

A001 | NTS



2 | Site Plan

A001 | 1" = 100'-0"

GENERAL NOTES

The building is to be fully protected from damage during the course of construction. All damaged areas and finishes resulting from this work are to be restored by the contractor to match existing construction.

The contractor shall verify all existing conditions and dimensions in the field before beginning work.

The contractor shall immediately report any discrepancies between drawings and existing conditions and dimensions to the Architect for resolution.

Do not scale drawings.

Where "match" is indicated on the drawings, the item is to be duplicated in all respects including, but not necessarily limited to: dimension, construction method, material, profile, texture, and finish.



3 | View from 3rd St. N & 2nd Ave. N.

A001 | NTS



4 | View from rear parking lot

A001 | NTS

SHEET INDEX

ARCHITECTURAL

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A101	Site and First Floor Plan
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A202	South Exterior Elevation
A203	West Exterior Elevation
A204	North Exterior Elevation
A205	East Exterior Elevation (Rendering)
A206	West Exterior Elevation (Rendering)
A207	East Exterior Entrance (Rendering)
A501	Details

See also American Masonry and DeMars Signs documents

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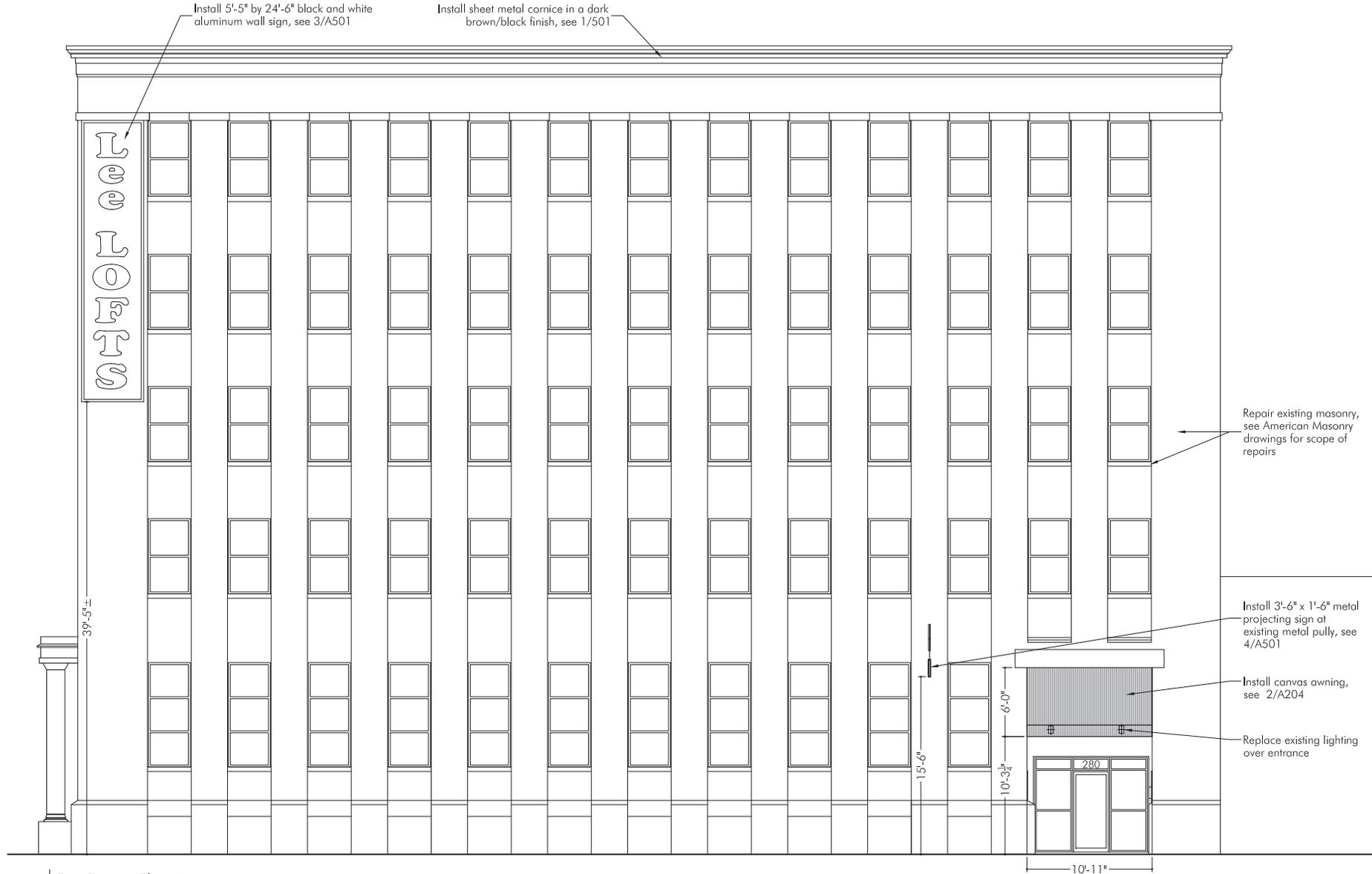


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Exterior Modifications and Signage
200 Third Street North/280 Second Avenue North, Minneapolis, MN
HPC Certificate of Appropriateness Application
DRAWN: RJK/AM DATE: 2015.02.17 REVISION

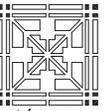
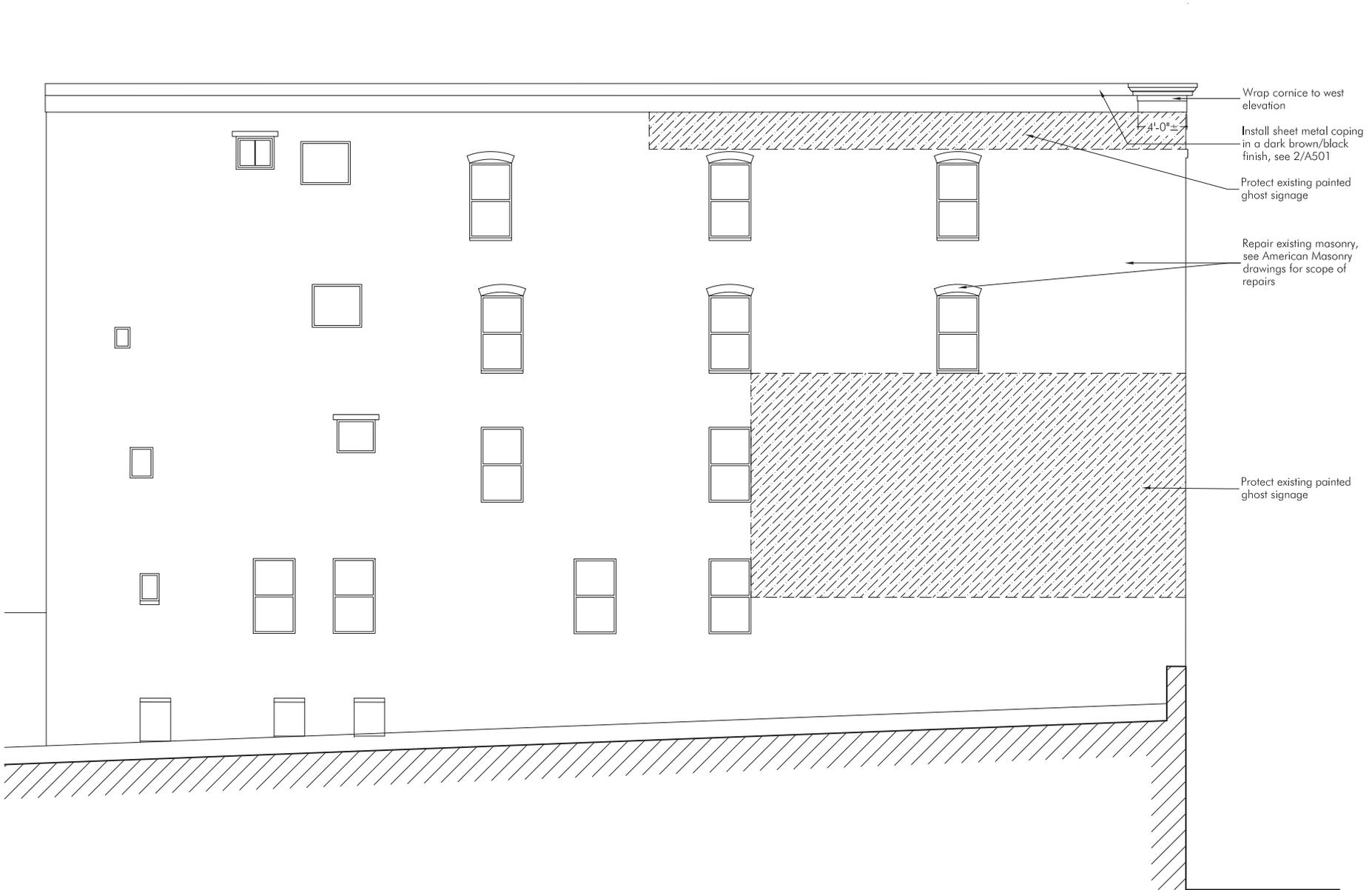
Cover

A001



1 | East Exterior Elevation

 A201 | 1/8" = 1'-0"



MACDONALD & MACK
 ARCHITECTS
 400 SOUTH WASHINGTON STREET, 7TH FLOOR, MINNEAPOLIS, MN 55401
 TEL: 612.338.1800 FAX: 612.338.1801 WWW.MACDONALDANDMACK.COM

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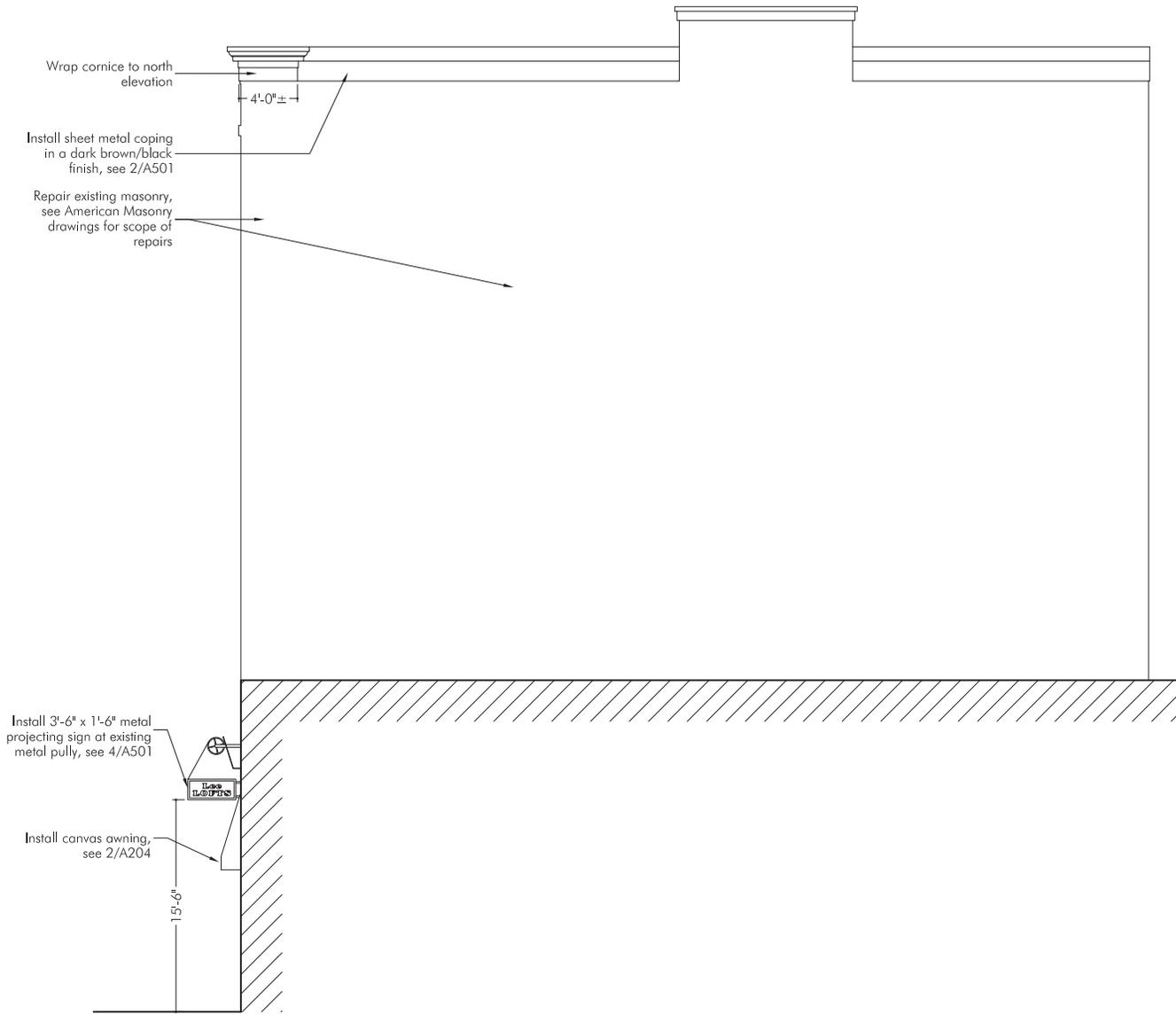
Exterior Modifications and Signage
 200 Third Street North/280 Second Avenue North, Minneapolis, MN
 HPC Certificate of Appropriateness Application
 DRAWN: RJK/AM DATE: 2015.02.17 REVISION:

West
 Exterior
 Elevation

A203

1 | West Exterior Elevation

A203 | 1/8"=1'-0"



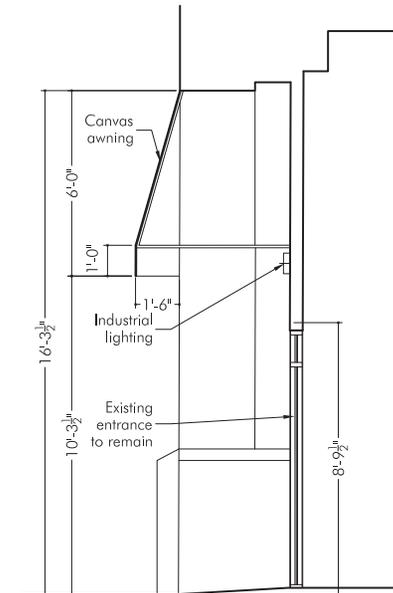
1 | North Exterior Elevation

A204 | 1/8"=1'-0"



3 | Industrial Lighting Options

A204 | NTS



2 | Section at 2nd Avenue N. Entrance

A204 | 1/4"=1'-0"



LOFTS

1 East Exterior Elevation

A205 1/8"=1'-0"

MACDONALD & MACK
ARCHITECTS
410 SOUTH MARSH STREET, S.T. 2, MINNEAPOLIS, MN 55402
PH: 612.341.1911 FAX: 612.341.1947
WWW.MACDONALD-MACK.COM

Harmony Lofts
Exterior Modifications and Signage
200 Third Street North, Minneapolis, MN
DRAWN: RJK/AM DATE: 2015.02.09 REVISION:

East
Exterior
Elevation

A205



1 West Exterior Elevation

A206 1/8"=1'-0"

MACDONALD & MACK
ARCHITECTS
400 NORTH KENNETH STREET, S.T. 2, MINNEAPOLIS, MN 55415
P 612 347 4551 F 612 347 4552 WWW.MACDONALD.COM

Harmony Lofts
Exterior Modifications and Signage
200 Third Street North, Minneapolis, MN
DRAWN: RJK/AM DATE: 2015.02.09 REVISION:

West
Exterior
Elevation

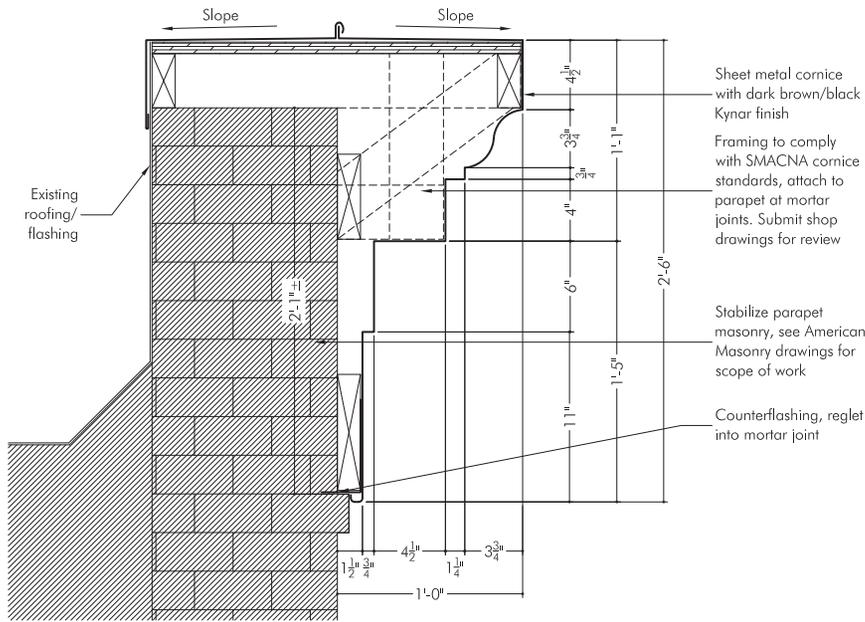
A206



1 | Projecting Sign and Awning Rendering looking South
 A207 | NTS

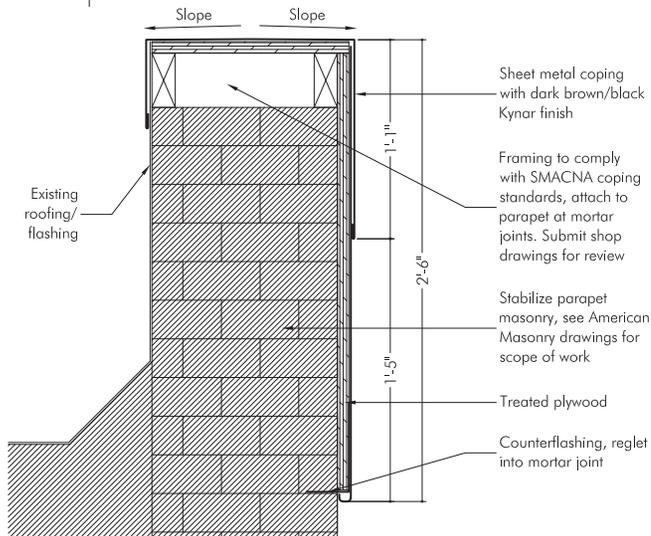


2 | Projecting Sign and Awning Rendering looking North
 A207 | NTS



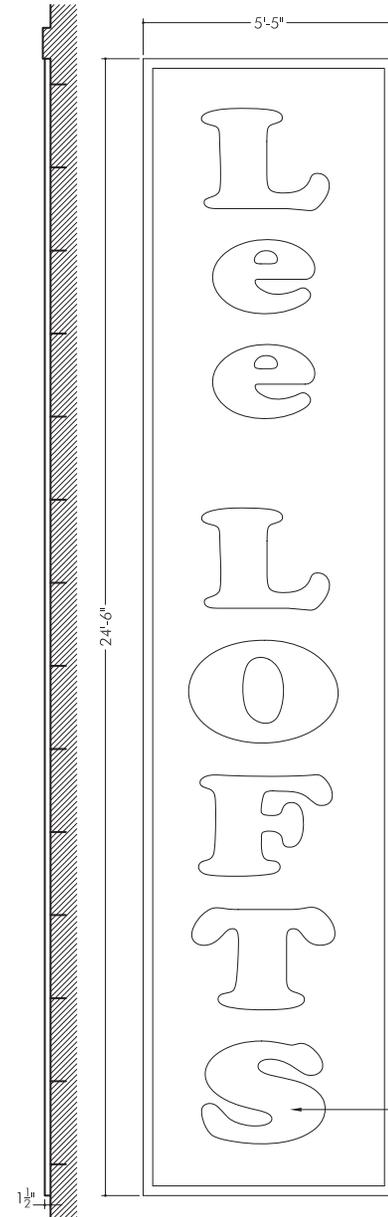
1 Metal Cornice Detail

A501 | 1-1/2"=1'-0"



2 Metal Coping Detail

A501 | 1-1/2"=1'-0"

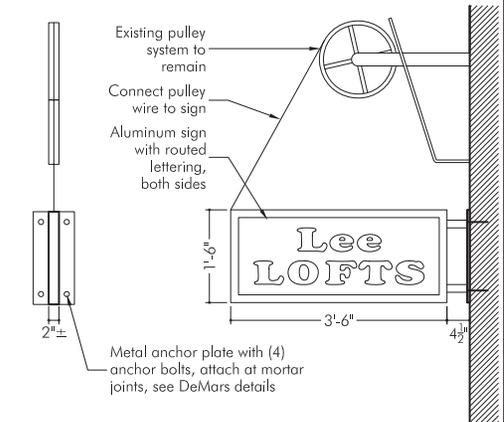


3 Vertical Wall Sign Section and Elevation Details

A501 | 3/8"=1'-0"

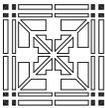
GENERAL SIGN NOTES:

1. All signage to have an enameled black background with white lettering and border.
2. Both signs are unlit.
3. See DeMars drawings for additional information.



4 Projecting Wall Sign Section and Elevation Details

A501 | 1/2"=1'-0"



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ARCHITECTS
PROFESSIONAL REGISTERED ARCHITECTS
1000 WASHINGTON AVENUE, SUITE 1000
MINNEAPOLIS, MN 55401
TEL: 612.338.8800 FAX: 612.338.8801
WWW.MACKINTX.COM

Exterior Modifications and Signage
200 Third Street North/280 Second Avenue North, Minneapolis, MN
HFC Certificate of Appropriateness Application
DRAWN: RJK/AM DATE: 2015.02.17 REVISION:

Details

A501

Mounting Brackets 10 Places

EVERY 30" ACROSS
TOP

4 ACROSS
BOTTOM

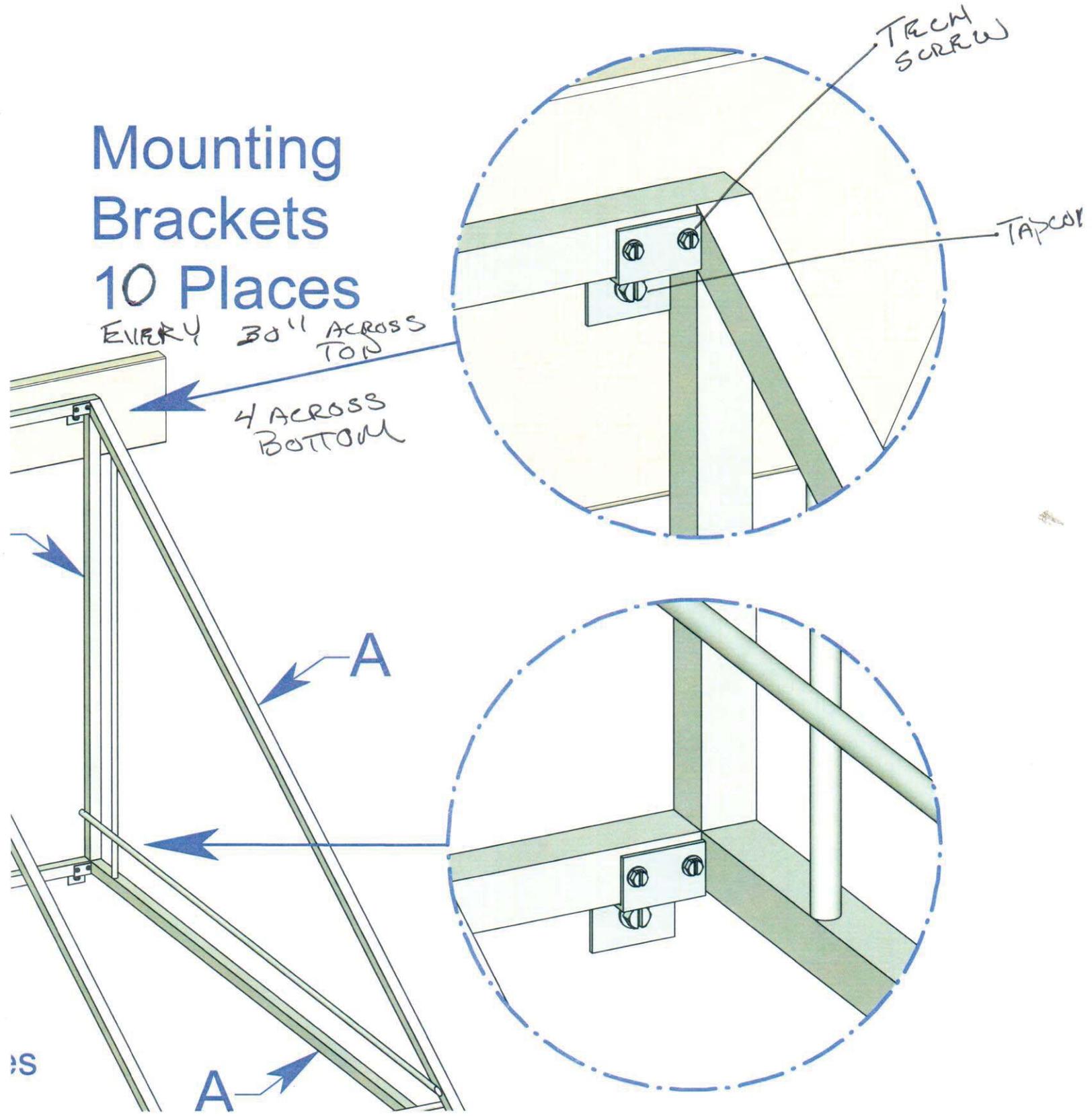
TRENCH
SCREW

TAPCON

A

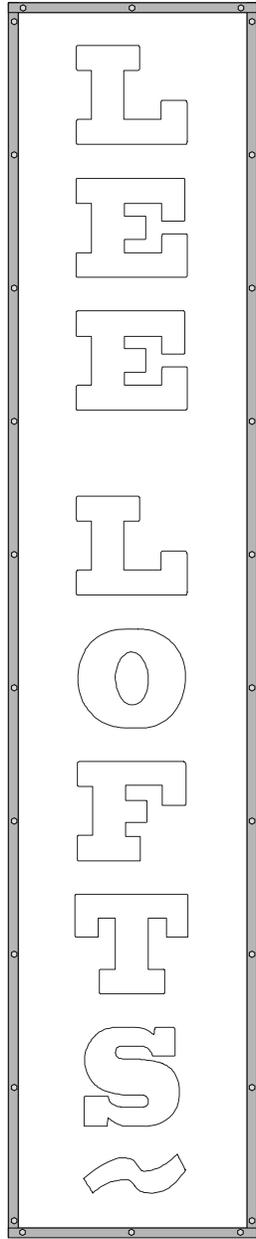
A

S

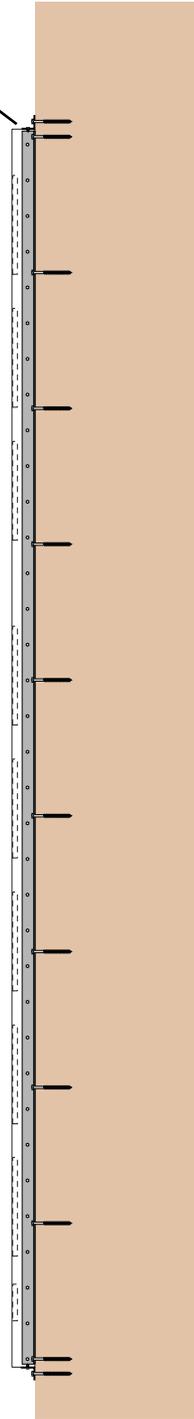


Side view

Front view



1.5" depth



410 93rd Ave. NW
 Coon Rapids, MN 55433
763.786.5545

DATE: 2.12.15

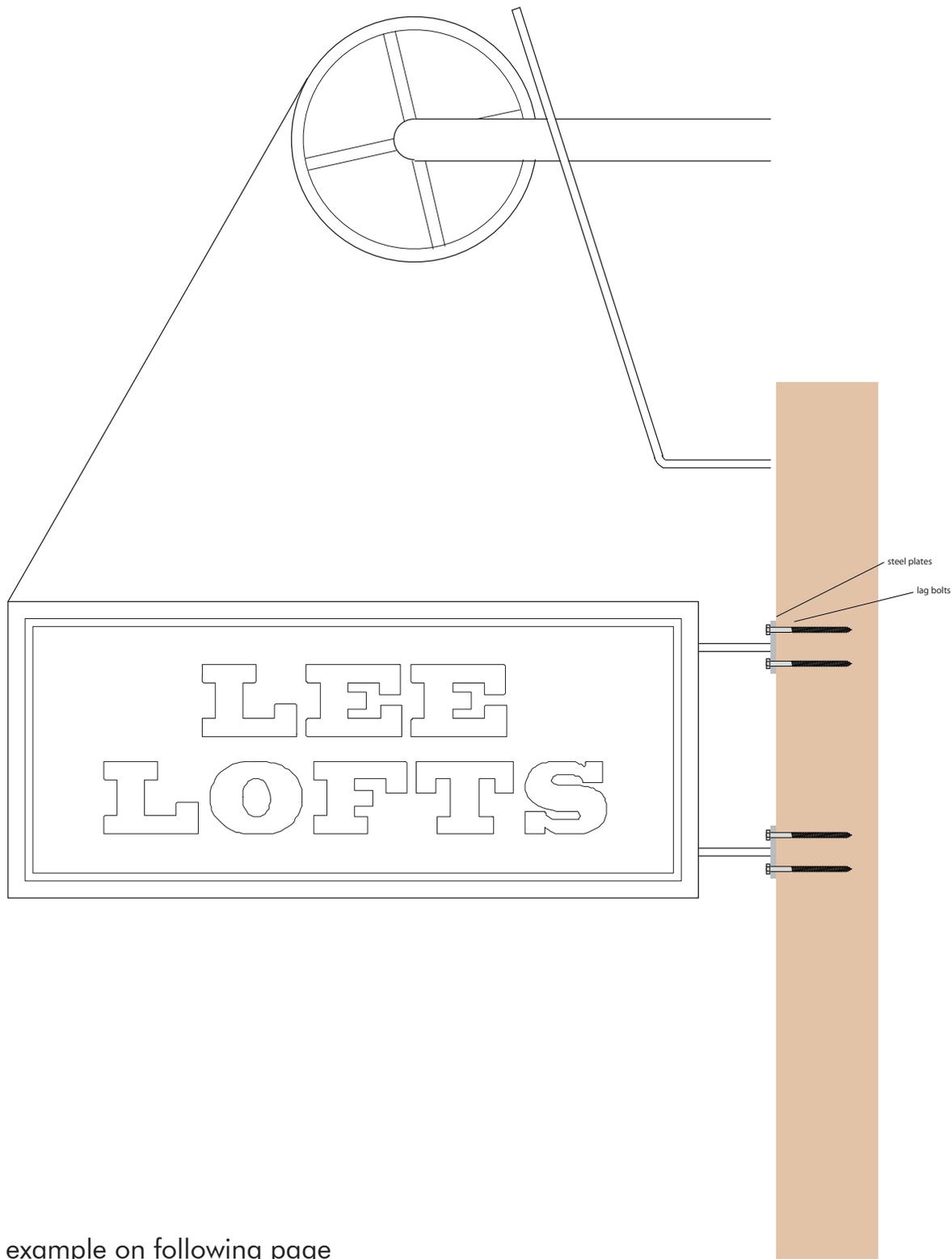
SALESMAN: Tim Olson

LOCATION: _____

NOTES: _____

These plans are the exclusive property of DeMars Signs Inc. and are the result of the original work of its employees. They are submitted to your firm for the sole purpose of your approval, assuming the signage will be manufactured by DeMars Signs Inc. Artwork and design may not be distributed outside your firm without written consent from DeMars Signs Inc. Use of this artwork and/or design without written consent is prohibited; DeMars Signs Inc. reserves the right to pursue legal action in violation of this agreement. This may include, but is not limited to: a) Reimbursement for creating above drawing. b) Any associated legal fees.

CUSTOMER APPROVAL X



See sign example on following page



410 93rd Ave.^{NW}
Coon Rapids, MN 55433
763.786.5545

DATE: 2.12.15
 SALESMAN: Tim Olson
 LOCATION: _____
 NOTES: _____

These plans are the exclusive property of DeMars Signs Inc. and are the result of the original work of its employees. They are submitted to your firm for the sole purpose of your approval, assuming the signage will be manufactured by DeMars Signs Inc. Artwork and design may not be distributed outside your firm without written consent from DeMars Signs Inc. Use of this artwork and/or design without written consent is prohibited; DeMars Signs Inc. reserves the right to pursue legal action in violation of this agreement. This may include, but is not limited to: a) Reimbursement for creating above drawing. b) Any associated legal fees.

CUSTOMER APPROVAL X

Lisa,

Please see the attached restoration program and historic mason qualifications provided by American Masonry Restoration Company.

Cleaning: Cleaning with ProSoCo 600 will be limited to portions of the exterior that have been repaired to remove excess mortar smear. No other cleaning is proposed.

Cleaning Procedure:

1. Wet surface with cold water applied by low-pressure spray (100-400psi).
2. Apply cleaner to surface by natural bristle brush or low-pressure spray.
3. Let cleaner remain on surface for period recommended in writing by chemical-cleaner manufacturer and established by mockup.
4. Rinse with cold water applied by low-pressure spray to remove chemicals and excess mortar.

Mortar Removal: Mortar will be removed using hand-held mechanical tools. American Masonry understands the need to protect brick and adjacent construction during removal activities, and will only proceed once a removal demonstration mockup has been approved. They will also only use qualified historic masons with experience working on historic buildings to perform the mortar removal per the attached qualification.

Please note that all masonry work will be performed under the supervision of qualified historic masons to protect the building's historic integrity.

If you have any other questions, don't hesitate to let me know.

Amy Meller AIA, NCARB, LEED AP

MACDONALD & MACK
ARCHITECTS, LTD.

Minneapolis Grain Exchange Building
400 South Fourth Street, Suite 712
Minneapolis, Minnesota 55415
T 612.341.4051 F 612.337.5843
E-mail: AmyM@mmarchltd.com



Restoration Program

The following information is provided to ensure the proper methods are used for the exterior masonry restoration of the Harmony Lofts Building.

General Site Conditions

The condition of the site shall meet the following requirements:

- Temperature range between 40-80° Fahrenheit.
- Dry weather 12 hours before and after workday.

Task: Repointing

- Use only skilled operators to remove the existing mortar with mechanical tools to uniform depth.
 - Submit on-site cutting samples with all mechanical equipment to be used for mortar removal.
- Rinse all joint surfaces to remove all dust and residue.
- Keep area damp but free of standing water prior to installation of pointing mortar.
- Apply in lifts when prior lift is thumbprint hard.
- Strike or tool to match surrounding joints surfaces.
- Keep surfaces damp for proper curing.

Task: Brick Rebuilding

- Identify damaged unit to be removed.
- Remove with mechanical tools and skilled operator.
- Flush or clean area of all residue and dust.
- Dampen the masonry surrounding the replaced unit but free of standing water.
- Apply mortar or butter surrounding masonry with new mortar.
- Install new brick.
- Tuckpoint voids to fill joints surrounding and tool to match area.
- Keep joints damp for proper cure.

Task: Stone/Pre-cast Replacement

- Identify and mark units to be removed.
- Remove units with mechanical tools and operator.
- Clean the surface of all residue and dust.
- Dampen the surface of the area.
- Install new stone units with proper bedding plans.
- Tool joints to match surrounding area.
- Keep damp for proper cure.



7701 East River Road Fridley, MN 55432 763-502-1400 FAX 763-502-1300 www.americanmasonry.net

Qualifications Statement

American Masonry Restoration Corporation (AMRC) specializes in the restoration repair and maintenance of buildings and structures. Since its inception in 1994, AMRC has had the privilege of working on some of the most notable buildings and properties in the area working closely with design professionals, owners and General Contractors. We assist these clients with evaluation, cost consulting, project planning and actual performance of repairs on their projects.

Design Professional References

Bob Mack	MacDonald & Mack Architects	612-341-4051
Laura Faucher	Preservation Design Works, LLC	612-387-0344
Larry Prinds	Cermak Rhoades Architects	651-225-8623
Dave MacDonald	Mattson, Macdonald & Young	612-827-7825

Noteworthy Projects

University of St. Thomas Chapel Stadium O'Shaunessy Auditorium Dowling Hall	Wyman Partridge Wyman Building Cargill Corporation
*The Saint Paul Hotel	Valspar Corporation
**Calhoun Beach Club	*Our Lady of Lourdes
**Nativity of Our Lord Catholic Church	St. Stephens Church
St. Marks Cathedral	Becketwood Chapel
Walker Art Center	*Hennepin United Methodist Church.
American Trio Lofts	*Ford Center
**Union Depot	Carleton College
*Laurel Village Swinford Apartments	**Phalen Bridge
*Crane Building	
Blue Cross Blue Shield of MN Waterview Towerview Main Headquarters	<i>*On the National Historic Register of Minnesota</i> <i>**MC&MCA Excellence Award Recipient in Masonry Restoration</i>

Exterior Building Maintenance & Repair

Tuckpointing

Caulking

Brick/Stone Repair

Thru Wall Flashing

Exterior Painting

Chemical Cleaning



7701 East River Road Fridley, MN 55432 763-502-1400 FAX 763-502-1300 www.americanmasonry.net

Curt Maiborn
Site Supervisor

Project Responsibilities:

Curt will serve as the project site supervisor. Responsibilities include overseeing the safety of field operations, coordinating of manpower on site, attending daily meetings with general contractor and monitoring of quality control on site.

Professional Experience:

American Masonry Restoration, 7701 East River Road, Minneapolis, MN 55432

May 2004-Present

Site Supervisor

Task Performed:

- Coordinate manpower, materials and equipment on project sites.
- Overseeing of quality control for projects.
- Review and correct safety concerns on project sites.

Macpherson Towne Company 4900 Cedar Lake Road, Minneapolis, MN 55416

1996-2004

Craft Worker

Task Performed:

- Tuckpointing.
- Installation of masonry components.
- Craft worker

Education: Scaffold training, suspended scaffold training, OSHA 10, certified Jahns installer, aerial work platforms and forklift training.

**Exterior Building
Maintenance & Repair**

Tuckpointing

Caulking

Brick/Stone Repair

Thru Wall Flashing

Exterior Painting

Chemical Cleaning



7701 East River Road Fridley, MN 55432 763-502-1400 FAX 763-502-1300 www.americanmasonry.net

Lonny Mahoney
Site Supervisor

Project Responsibilities:

Lonny will serve as the project site supervisor. Responsibilities include overseeing the safety of field operations, coordinating of manpower on site, attending daily meetings with general contractor and monitoring of quality control on site.

Professional Experience:

American Masonry Restoration, 7701 East River Road, Minneapolis, MN 55432

May 2011-Present

Site Supervisor

Task Performed:

- Coordinate manpower, materials and equipment on project sites.
- Overseeing of quality control for projects.
- Review and correct safety concerns on project sites.

Donald R. Franz Concrete & Masonry, 595 Randolph Ave, Saint Paul, MN 55102

1997- April 2011

Craft Worker

Task Performed:

- Tuckpointing, brick and stone installation.
- Installation of masonry components.
- Craft worker and supervisor.

Spraungel Construction, 830 Tower Drive, Hamel MN 55340

1995-1997

Estimator

Task Performed:

- Preparing bids.
- Reading plans and providing estimates.
- Coordinating with project managers.

Education: Scaffold training, suspended scaffold training, OSHA 10, certified Jahns installer, aerial work platforms and forklift training.

**Exterior Building
Maintenance & Repair**

Tuckpointing

Caulking

Brick/Stone Repair

Thru Wall Flashing

Exterior Painting

Chemical Cleaning



7701 East River Road Fridley, MN 55432 763-502-1400 FAX 763-502-1300 www.americanmasonry.net

Paul Johnson
Site Supervisor

Project Responsibilities:

Paul will serve as the project site supervisor. Responsibilities include overseeing the safety of field operations, coordinating of manpower on site, attending daily meetings with general contractor and monitoring of quality control on site.

Professional Experience:

American Masonry Restoration, 7701 East River Road, Minneapolis, MN 55432

August 2010-Present

Site Supervisor

Task Performed:

- Coordinate manpower, materials and equipment on project sites.
- Overseeing of quality control for projects.
- Review and correct safety concerns on project sites.

Advanced Masonry Restoration, 2956 Yorkton Blvd, Saint Paul, MN 55117

June 2009 – October 2009

Site Supervisor

Task Performed:

- Coordinate manpower, materials and equipment on project sites.
- Site Foreman
- Craft worker

CD Tile and Stone, 3020 104th Lane NE, Minneapolis, MN 55449

August 2005 – June 2009

Site Supervisor/Field Installer

Task Performed:

- Installation of marble and granite components.
- Coordinate manpower on site.

McGough Construction, 2737 Fairview Avenue N, Saint Paul, MN 55113

1995-2005

Masonry Foreman

Task Performed:

- Supervise masonry operations on projects.
- Foreman at the Cathedral of Saint Paul masonry restoration project.
- Supervise safety on construction sites.

Education: US Heritage Group lime putty and mortar (Chicago), certified Jahns installer, forklift training, suspended scaffold training, lift training, lead supervisor (MN), certified welder and OSHA 10.

**Exterior Building
Maintenance & Repair**

Tuckpointing

Caulking

Brick/Stone Repair

Thru Wall Flashing

Exterior Painting

Chemical Cleaning

Harmony Lofts

Exterior Repairs

Proposed Repairs, North Elevation:

1. Remove parapet caps, concrete parging and repair approximately 160 sq. ft. of single outer wythe of masonry. Any wall sections solid enough to remain will be tuckpointed 100%. Allowance provided to replace additional facebrick as needed.
2. Install sheet metal cornice extending approximately 12" from building and 24" down.
3. Spot tuckpoint elevation 10%.
4. Remove and replace up to 100 individual brick.
5. Wash all areas repaired with ProSoco 600.



North Elevation

Key:

-  Spot Tuckpoint 10%, clean entire elevation with water wash.
-  Rebuild/Tuckpoint Parapet, install Sheet Metal Cornice
-  Replace Sill
-  Repair Pre-Cast Column Base
-  Repair Window Head
-  Cementious Coating



* Please note that all pre-cast pieces to be replaced will match existing color, profile and dimensions as close as possible.

* Please note that ProSoco 600 to be used only in areas that are repaired. All adjacent surfaces are to be protected.

Harmony Lofts

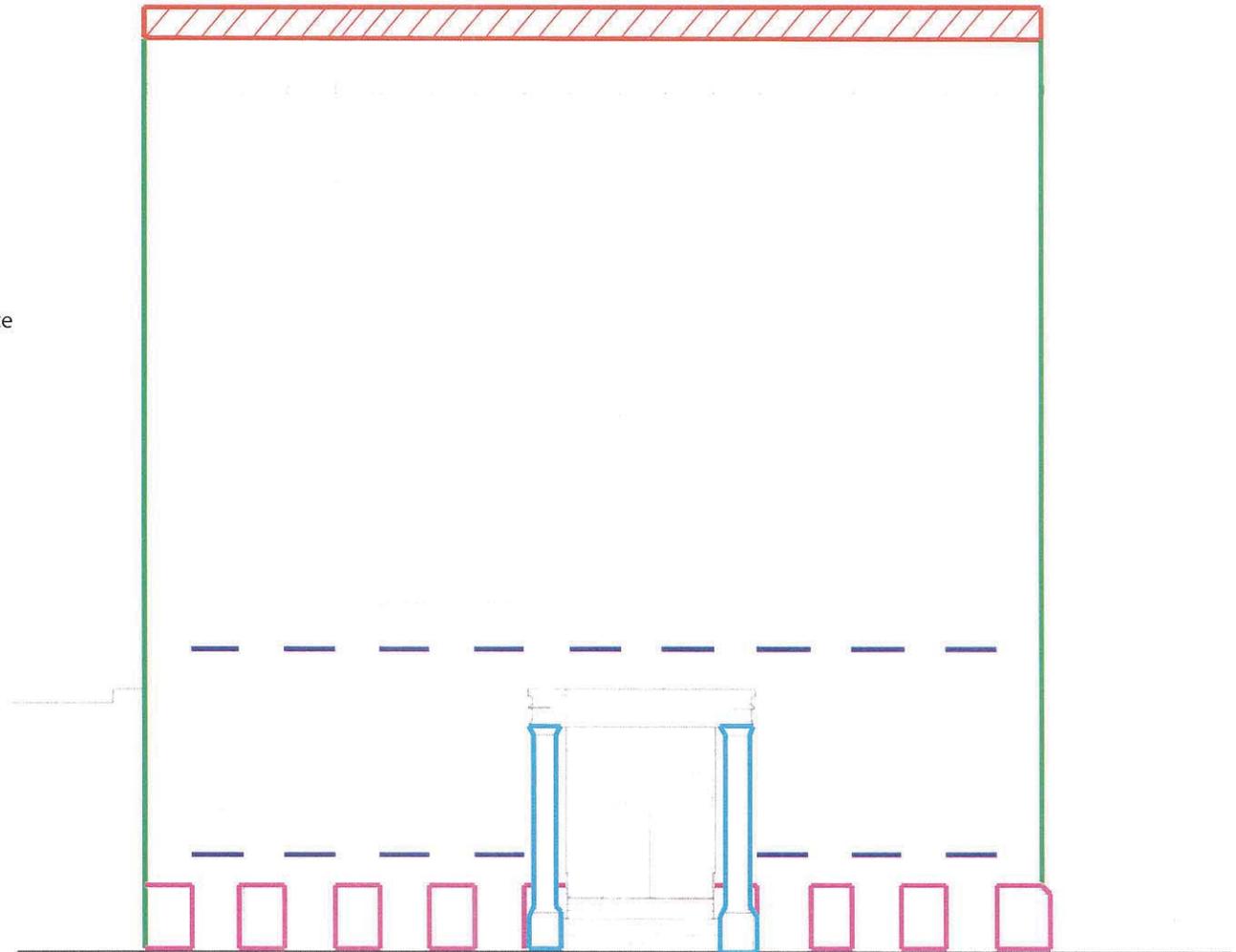
Exterior Repairs

Proposed Repairs, South Elevation:

1. Tuckpoint top two square feet this elevation.
2. Install sheet metal cornice extending approximately 12" from building and 24" down.
3. Remove window sills up to existing window and install new pre-cast sills to match color and profile on bottom two floors.
4. Tuckpoint pre-cast bases at columns. Allowance provided to patch deteriorated areas. Allowance provided to replace pre-cast pieces to match color and profile.
5. Spot tuckpoint elevation 10%.
6. Remove and replace up to 100 individual brick.
7. Wash all areas repaired with ProSoco 600.
8. Apply cementitious coating at columns and bases at entrance.

Key:

-  Spot Tuckpoint 10%, clean entire elevation with water wash.
-  Rebuild/Tuckpoint Parapet, install Sheet Metal Cornice
-  Replace Sill
-  Repair Pre-Cast Column Base
-  Repair Window Head
-  Cementitious Coating



South Elevation (3rd St. N.)



* Please note that all pre-cast pieces to be replaced will match existing color, profile and dimensions as close as possible.

* Please note that ProSoco 600 to be used only in areas that are repaired. All adjacent surfaces are to be protected.

Harmony Lofts

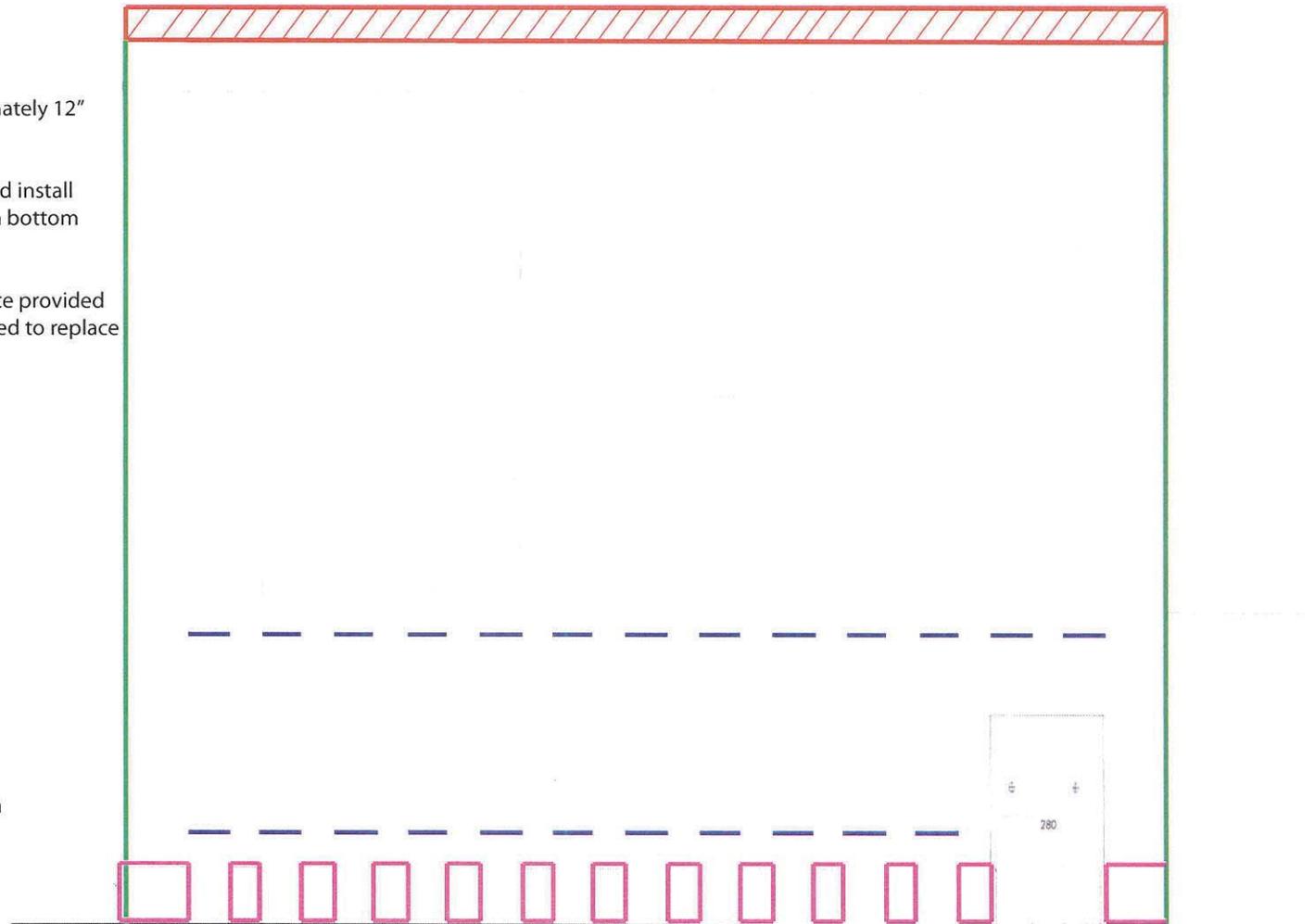
Exterior Repairs

Proposed Repairs, East Elevation:

1. Tuckpoint top two square feet this elevation.
2. Install sheet metal cornice extending approximately 12" from building and 24" down.
3. Remove window sills up to existing window and install new pre-cast sills to match color and profile on bottom two floors.
4. Tuckpoint pre-cast bases at columns. Allowance provided to patch deteriorated areas. Allowance provided to replace pre-cast pieces to match color and profile.
5. Spot tuckpoint elevation 10%.
6. Remove and replace up to 100 individual brick.
7. Wash all areas repaired with ProSoco 600.

Key:

-  Spot Tuckpoint 10%, clean entire elevation with water wash.
-  Rebuild/Tuckpoint Parapet, install Sheet Metal Cornice
-  Replace Sill
-  Repair Pre-Cast Column Base
-  Repair Window Head
-  Cementious Coating



East Elevation (2nd Ave. N.)



* Please note that all pre-cast pieces to be replaced will match existing color, profile and dimensions as close as possible.

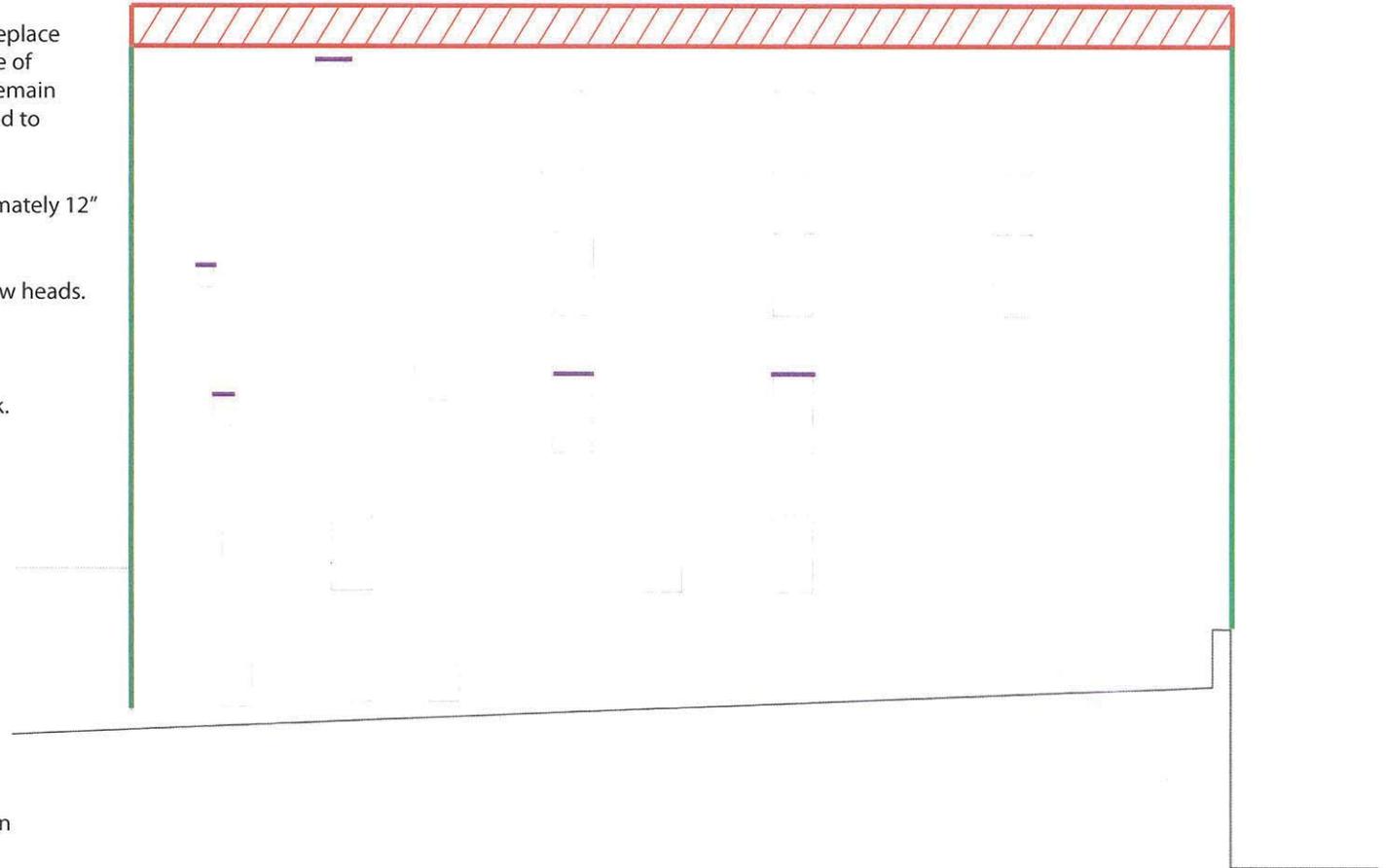
* Please note that ProSoco 600 to be used only in areas that are repaired. All adjacent surfaces are to be protected.

Harmony Lofts

Exterior Repairs

Proposed Repairs, West Elevation:

1. Remove parapet caps, concrete parging and replace approximately 300 sq. ft. of single outer wythe of masonry. Any wall sections solid enough to remain will be tuckpointed 100%. Allowance provided to replace additional facebrick as needed.
2. Install sheet metal cornice extending approximately 12" from building and 24" down.
3. Replace loose and damaged brick at five window heads.
4. Spot tuckpoint elevation 10%.
5. Remove and replace up to 100 individual brick.
6. Wash all areas repaired with ProSoco 600.



West Elevation

Key:

- █ Spot Tuckpoint 10%, clean entire elevation with water wash.
- █ Rebuild/Tuckpoint Parapet, install Sheet Metal Cornice
- █ Replace Sill
- █ Repair Pre-Cast Column Base
- █ Repair Window Head
- █ Cementitious Coating



* Please note that all pre-cast pieces to be replaced will match existing color, profile and dimensions as close as possible.

* Please note that the ghosting on this elevation will be preserved. ProSoco 600 to be used only in areas that are repaired.



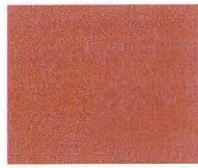
▲★ Cardinal Red



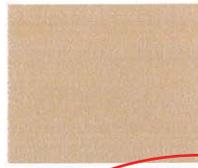
▲★ Colonial Red



Burgundy



▲★ Terra Cotta



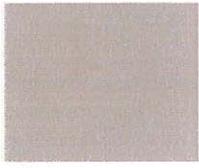
▲★ Sierra Tan



▲★ Mansard Brown



▲★ Stone White



▲★ Granite



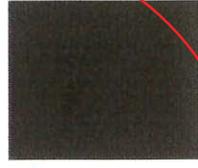
▲★ Sandstone



▲★ Almond



▲★ Medium Bronze



▲★ Dark Bronze



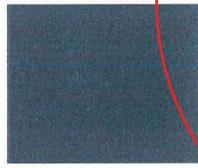
▲★ Slate Gray



▲★ Bone White



▲★ Musket Gray



▲★ Charcoal



Midnight Bronze



Matte Black



▲★ Cityscape



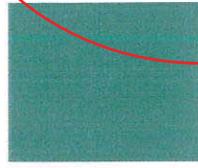
Interstate Blue



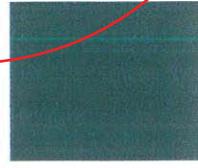
▲★ Hemlock Green



▲★ Arcadia Green



▲★ Patina Green



▲★ Hunter Green



▲★ Military Blue



Award Blue



▲★ Teal



Hartford Green



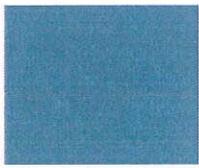
Forest Green



▲★ Evergreen



★ Berkshire Blue



▲★ Slate Blue

● Denotes PAC-CLAD Metallic Colors
 ▲ Denotes PAC-CLAD Cool Colors

★ Denotes Energy Star® Colors

Kynar 500® or Hylar 5000® pre-finished steel and aluminum for roofing, curtainwall and storefront applications.

See back for color availability chart.

Note: Midnight Bronze available in .040 aluminum only.

PAC-CLAD Metallic Colors



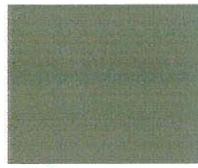
●▲★ Zinc



●▲★ Silver



●▲★ Copper Penny



●▲★ Aged Copper



●▲★ Champagne



●▲★ Weathered Zinc

PETERSEN ALUMINUM CORPORATION

HQ: 1005 Tonne Road
 Elk Grove Village, IL 60007
 P: 800-PAC-CLAD
 F: 800-722-7150

9060 Junction Drive
 Annapolis Junction, MD 20701
 P: 800-344-1400
 F: 301-953-7627

10551 PAC Road
 Tyler, TX 75707
 P: 800-441-8661
 F: 903-581-8592

350 73rd Ave., NE, Ste 1
 Fridley, MN 55432
 P: 877-571-2025
 F: 866-901-2935

102 Northpoint Parkway
 Acworth, GA 30102
 P: 800-272-4482
 F: 770-420-2533

Interstate Blue

Matte Black

Midnight Bronze



PAC-CLAD® Metallic finishes are available from stock at a moderate extra cost. PAC-CLAD® Copper Penny is a Non-Weathering finish.

Solar Reflectance Index calculated according to ASTM C-1549.

*Low Gloss/Low Sheen full Kynar 500® or Hylar 5000® finish

**Acrylic coated, non-Kynar Finish.

ENERGY STAR Performance Criteria:

Emissivity uses ASTM C1371, Reflectivity uses ASTM C1549.

Samples:

These color reproductions are as accurate as modern technology will permit. Free material samples are available on request.

Technical Data for Kynar 500® / Hylar 5000® Coating:

- ☉ Life Expectancy: 20 years exposure: Chalk – rating of 8 or better. Color – <5ΔE (Hunter Units) change.
- ☉ Accelerated Weathering: (ASTM G-23 Type EH Apparatus) 5,000 hours: Chalk – rating of 8 or better. Color: ≤2ΔE (Hunter Units) color change.
- ☉ Solvent Resistance: (NCCA procedure 11-18, no comparable ASTM test) – Pass.
- ☉ Humidity Resistance: (ASTM D 2247, Apparatus A1) – 2,000 hours, hot dipped Galvanized, or 3000 hours, Aluminum: No field blisters.
- ☉ Salt Spray Resistance: (ASTM B 117), 3,000 hours, aluminum – No creep from scribe; no blisters. 1000 hours, hot dipped galvanized – creep from scribe not to exceed 1/16"; no blisters.
- ☉ Chemical/Acid Pollution Resistance: (ASTM D 1308) – Pass.
- ☉ Formability: (ASTM D 4145) – 1T – 3T, No loss of adhesion.
- ☉ Pencil hardness: (ASTM D 3363) – HB to 2H.
- ☉ Specular Gloss (ASTM D 523) – At 60 degrees; Typical; 20 – 35 (low gloss/low sheen available).
- ☉ Abrasion Resistance: (ASTM D 968) – 65±10 liters.
- ☉ Adhesion: (ASTM D 3359) – No loss of adhesion.
- ☉ Impact Resistance: (ASTM D 2794) – 1/2" ball indenter, Gardner impact tester: No cracking; no loss of adhesion.

Flame Test (ASTM E 84) – Class A coating

Recycled Content:

For information on recycled content, contact your PAC representative or visit www.pacgreeninfo.com



Petersen Headquarters
1005 Tonne Road
Elk Grove Village, IL 60007
work: [800-PAC-CLAD](tel:800-PAC-CLAD)
fax: [800-722-7150](tel:800-722-7150)
info@pac-clad.com

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9060 Junction Drive
Annapolis Junction, MD 20701
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fax: [903-581-8592](tel:903-581-8592)
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350 73rd Avenue, NE Ste 1
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fax: [866-901-2935](tel:866-901-2935)
info@pac-clad.com

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102 Northpoint Pkwy
Acworth, GA 30102
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info@pac-clad.com

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Results of Tests on Brick conducted in accordance with ASTM C67-11 Standard Method for Sampling
and Testing Brick and Structural Clay Tile

03/29/2012

Name:	Summit Brick & Tile	Plant:	Summit Brick & Tile
	P. O. Box 533	Report Number:	SBT-0012
	Pueblo, CO 81002-0533	Sampled Date:	03/14/2012
Phone:	719-542-8278	Lot:	101
Fax:	719-542-5243	Product Code:	751 L

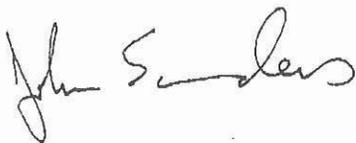
Sample Description: **700 Clay Series**

700 Clay Series includes: Thistle-down (All Textures), Thistle-down Ironspot (All Textures), Dove (All Textures), Dove Ironspot (All Textures), Misty (All Textures), Misty Ironspot (All Textures), Twilight (All Textures), Twilight Ironspot (All Textures), Onyx (All Textures), Onyx Ironspot (All Textures).

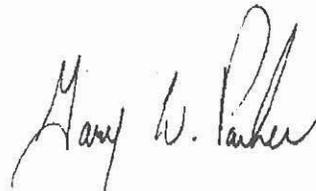
							Test Date	
Absorption		1	2	3	4	5	Average	
24 Hour Submersion in Cold Water (%)		6.23	6.04	5.61	6.19	6.13	6.04	03/15/2012
5 Hour Submersion in Boiling Water (%)		8.28	8.02	7.66	8.01	8.03	8.00	
Saturation Coefficient (Ratio of 24H to 5H)		0.75	0.75	0.73	0.77	0.76	0.75	
Compressive Strength		1	2	3	4	5	Average	
	<i>psi</i>	9,947	10,025	11,081	10,254	9,899	10,241	03/15/2012
	<i>MPa</i>	68.6	69.1	76.4	70.7	68.3	70.6	
Efflorescence		11	12	13	14	15		
		Not Effloresced		03/26/2012				
IRA		6	7	8	9	10	Average	
	<i>g/min/30 in.²</i>	2.2	3.5	2.2	1.6	3.5	2.6	03/16/2012
Average % Void		24.7						03/16/2012

The brick represented by the test results shown here comply with the standards listed below:

ASTM C 216 - 11 Standard Specification for Facing Brick (Solid Masonry Units Made From Clay or Shale)
Grade: SW, MW



John Sanders, Ph.D., PE, Director



Gary W. Parker, Laboratory Supervisor





REPORT OF MORTAR MIX DESIGN

MORTAR TYPE: N Property

MIX DESIGNATION: TCC BOM 101212, 100316

RECOMMENDED LOCATION: Exterior, Above Grade Masonry Veneer

BUILDING SEGMENT: Refer to ASTM C 270

MATERIALS:

Portland Cement	ASTM C 150, TYPE I
Hydrated Lime	ASTM C 207, TYPE S
Natural Sand	ASTM C 144

MORTAR PROPERTIES:		ASTM C 270 Requirements:
Compressive Strength	1420 psi	750 psi average at 28 days
Water Retention	91%	75% minimum
Air Content	6.50%	12% maximum
Aggregate Ratio	3.09	2¼ to 3½

TESTING FACILITY: Cemstone Companies Materials Laboratory
 Date: 8-Feb-11
 LAB ID: T101229C

- NOTES:**
- This mortar meets the property requirements for Type N masonry mortar as defined in Specification C 270.
 - Field sampling and testing of mortar is conducted under Test Method C 780 and is used to verify consistency of the materials and procedures, not mortar strength. ACI 530.1 - 92/ASCE 6-92/TMS 602-92

Reviewed By:

(signature on file)

David W. Morlock, P.E.

REPORT OF MORTAR MIX DESIGN

MORTAR TYPE: N Property, White

MIX DESIGNATION: TCC BOM 106425

RECOMMENDED LOCATION: Exterior, Above Grade Masonry Veneer

BUILDING SEGMENT: Refer to ASTM C 270

MATERIALS:

White Portland Cement	ASTM C 150, TYPE I
Hydrated Lime	ASTM C 207, TYPE S
Natural Sand	ASTM C 144

MORTAR PROPERTIES:		ASTM C 270 Requirements:
Compressive Strength	1210 psi	750 psi average at 28 days
Water Retention	90%	75% minimum
Air Content	6.50%	12% maximum
Aggregate Ratio	3.09	2¼ to 3½

TESTING FACILITY: Cemstone Companies Materials Laboratory
Date: 9-Dec-10
LAB ID: T101108F

NOTES:

- This mortar meets the property requirements for Type N masonry mortar as defined in Specification C 270.
- Field sampling and testing of mortar is conducted under Test Method C 780 and is used to verify consistency of the materials and procedures, not mortar strength. ACI 530.1 - 92/ASCE 6-92/TMS 602-92

Reviewed By:

(signature on file)

David W. Morlock, P.E.

TCC Materials
Corporate Office: 2025 Centre Point Blvd., Suite 300, Mendota Heights, MN 55120
651-688-9116

→ SURE KLEAN →

600

new masonry cleaner

OVERVIEW

Sure Klean® 600 is a general purpose, concentrated acidic cleaner for brick, tile and concrete surfaces. Sure Klean® 600 dissolves mortar smears and construction dirt quickly, leaving the masonry clean and uniform with no acid burning or streaking.

SPECIFICATIONS

For all PROSOCO product specifications visit www.prosoco.com and click on "SpecBuilder" or "Solution Finder."

ADVANTAGES

- The No. 1-selling proprietary cleaner for new masonry.
- Proven effective through years of use.
- Recommended by many brick, tile and mortar manufacturers.
- Safer than muriatic acid for new masonry surfaces.
- Fast and easy to apply – use with cold water rinse.
- Special wetting agents let larger masonry surfaces be cleaned at one time, eliminating streaking.

Limitations

- May not be suitable for cleaning buff-colored brick and brick, stone or tile with manganese or other metallic additives. See product literature on Sure Klean® Vana Trol®.
- Not suitable for cleaning polished or certain glazed surfaces. Always test to ensure suitability.
- Repeated applications may leave a detergent residue. Always prewet to reduce potential for detergent residue. Rinse thoroughly. Don't apply more than twice.
- Not effective for removing atmospheric dirt and black carbon stains. Use the appropriate Sure Klean® restoration cleaner to remove atmospheric staining from older masonry surfaces.
- Not for use on treated low-E glass; acrylic and polycarbonate sheet glazing; and glazing with surface-applied reflective, metallic or other synthetic coatings and films.

REGULATORY COMPLIANCE

VOC Compliance

Sure Klean® 600 is compliant with all national, state and district regulations.

TYPICAL TECHNICAL DATA

FORM	Clear liquid with slight amber color
SPECIFIC GRAVITY	1.130
pH	0.1 @ 1:9 dilution
WT/GAL	9.4 lbs
ACTIVE CONTENT	Not applicable
TOTAL SOLIDS	Not applicable
VOC CONTENT	Not applicable
FLASH POINT	Not applicable
FREEZE POINT	<-22°F (<-30°C)
SHELF LIFE	3 years in tightly sealed, unopened container



East Elevation (facing 2nd Avenue N)



South elevation (facing 3rd Street N) and corner of west elevation
- Ghost signs visible at parapet and between 2nd and 4th floors



View of north (left) and west (right) elevations from alley



Primary building entrance (280 2nd Avenue N.)





Secondary building entrance (200 3rd Street N)
- Served as historic entrance until I-94 and I-394 ramp construction and conversion into apartments.



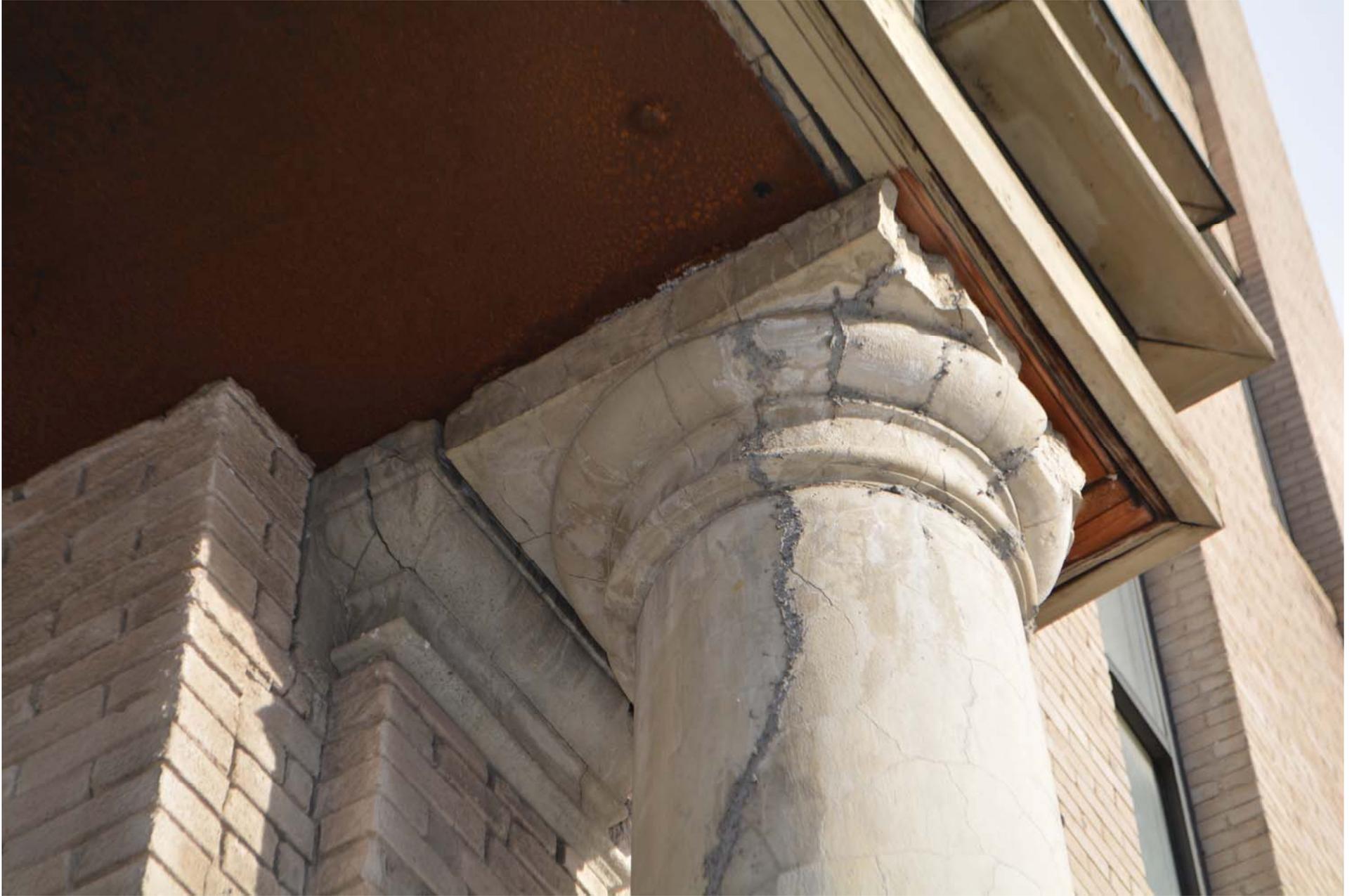
200 3rd Street N. entrance cast-concrete columns and entablature condition







Previous repairs to cracks in columns



Damage to column capitals









Protective plywood enclosure at entablature and masonry damage













Typical west and north parapet condition with cementitious parge coating, spalling brick, cracks, and missing mortar



Typical south and east parapet condition with missing parapet cap, staining, spalling brick, cracks, and missing mortar



Soft, spalling brick at areas of previous cleanings at south corner of east elevation



Cast stone pilaster base condition with spalling/eroded veneer, cracks, and missing mortar



Cast stone window sill deterioration (above dumpsters)



West elevation window conditions with missing/loose brick headers, deteriorated brick sills, and open joints at jambs



Ghost signs on west elevation at parapet and between 2nd and 4th floors



Black and white ghost sign of previous building tenant



Close-up of southwest corner and parapet condition
- Note brick banding below original cornice and at top of 5th floor windows on south elevation



Original
cornice
location

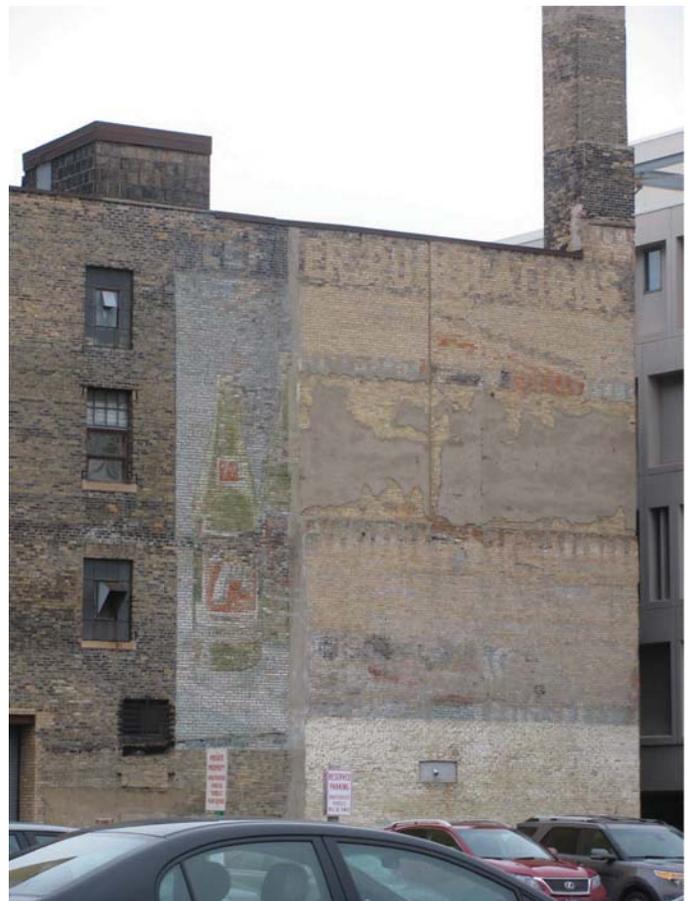
Original
horizontal
sign band

Close-up of southeast corner and parapet condition (2nd Avenue N. and 3rd Street N.)
- Note brick banding below original cornice and at top of 5th floor windows



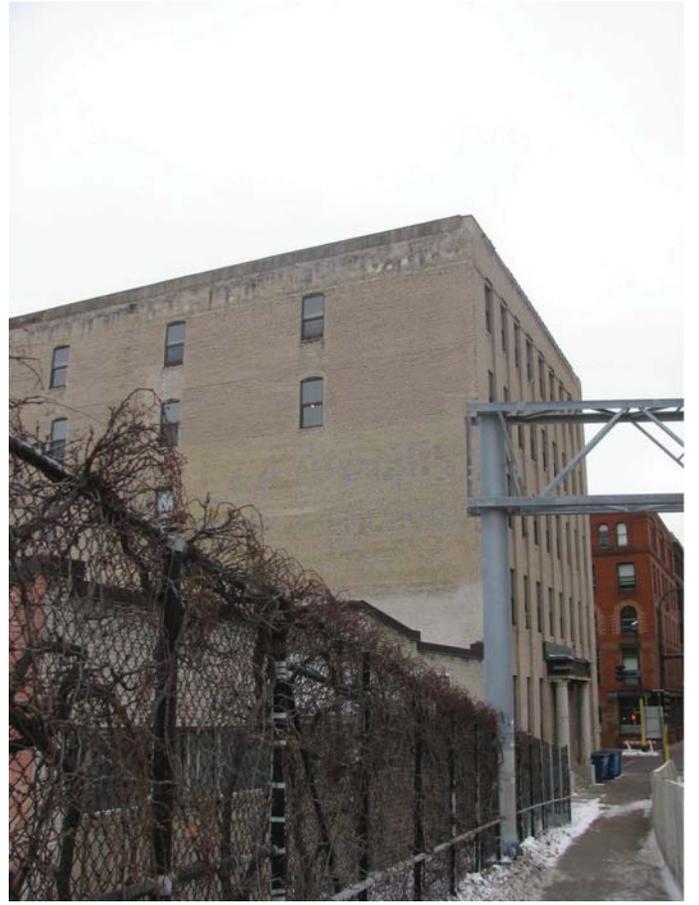
Examples of historic building cornices located in the Warehouse Historic District and nearby landmarks.





Examples of large-scale signage located in the Warehouse Historic District and nearby landmarks.





MACDONALD & MACK ARCHITECTS

400 South Fourth Street Suite 712 Minneapolis MN 55415
P 612.341.4051 • F 612.337.5843 • www.mmarchltd.com
Stuart MacDonald, AIA Robert Mack, FAIA Todd Grover, AIA

February 17, 2015

Christie Rock
Downtown Minneapolis Neighborhood Association-West
info@thedmna.org

Dear Ms. Rock,

On behalf of Harmony Lofts LP and Advance Realty, Inc., MacDonald & Mack Architects will be submitting an application for Certificate of Appropriateness to the Minneapolis Heritage Preservation Commission for the exterior rehabilitation of 200 3rd Street North/280 2nd Avenue North (currently names Harmony Lofts). Jamie Heilicher, the property owner, can be reached at:

Advance Realty, Inc.
850 Decatur Ave. N.
Golden Valley, MN 55427
T: 763-544-7600
E: Jamie@advancerealtymn.com

200 3rd Street N. (also known as 280 2nd Avenue N.) was designed by J.I. Stene in the Neo-Classical Revival style and built in 1907. It operated as a clothing-and-furnishing goods factory under Tibbs, Hutchings & Co. until the company folded in 1911. It was later used to fabricate Lee denim apparel from around 1919 to 1967. It has housed apartments since the 1980s. Remnants or “ghosts” of large-scale historic painted signage from its various clothing factory tenants remain on the west side of the building.

200 3rd Street N. is prominently located at the intersection of 2nd Avenue N. and 3rd Street N. With the construction of the I-94 and I-394 on-ramp and the building’s shift to housing, the primary pedestrian building access was relocated from 3rd Street N. to an entrance on 2nd Avenue N. located away from the busy intersection. Other modifications to the building have included the removal and/or modification of character-defining elements – such as metal cornice, the cast-concrete entrance portico on 3rd Street N., and large-scale painted signage – prior to the building’s designation as contributing to the Minneapolis Warehouse Historic District. Finally, areas of the masonry exterior have deteriorated over time leaving the building susceptible to moisture infiltration.

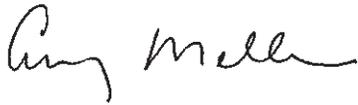
This project maintains the building's current use as housing and proposes to rehabilitate the exterior, including:

- Addressing general masonry maintenance issues including the repair and/or replacement of deteriorated masonry and repointing to match existing.
- Stabilizing and repairing the cast-concrete 3rd Street N. entrance.
- Restoring the missing cornice on the two primary elevations and addressing failing parapet parging and copings on the rear elevations.
- Replicating a vertical section of the original large-scale wall signage facing 2nd Avenue N. (A variance will be required due to the sign's size and mounting height).
- Improving visibility of the 2nd Avenue N. entrance with industrial lighting, a projecting sign, and an awning.

Please see the attachments for specifics regarding the proposed work.

This project will appear on either the March 24 or April 7, 2015 HPC agenda for review. We will be sure to notify you in the event the date of the review changes. In the meantime, please don't hesitate to contact me with any questions or concerns you may have on behalf of Downtown Minneapolis Neighborhood Association-West.

Sincerely,

A handwritten signature in black ink that reads "Amy Meller". The signature is written in a cursive, flowing style.

Amy Meller, AIA

MACDONALD & MACK

A R C H I T E C T S

400 South Fourth Street Suite 712 Minneapolis MN 55415
P 612.341.4051 • F 612.337.5843 • www.mmarchltd.com
Stuart MacDonald, AIA Robert Mack, FAIA Todd Grover, AIA

February 17, 2015

Jacob Frey
Minneapolis City Council, Ward 3
jacob.frey@minneapolismn.gov

Dear Council Member Frey,

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850 Decatur Ave. N.
Golden Valley, MN 55427
T: 763-544-7600
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Sincerely,

A handwritten signature in black ink that reads "Amy Meller". The signature is written in a cursive, flowing style.

Amy Meller, AIA