



CPED STAFF REPORT

Prepared for the Zoning Board of Adjustment
BOA Agenda Item #4
August 25, 2016
BZZ-7829

LAND USE APPLICATION SUMMARY

Property Location: 2101 Irving Avenue South
Project Name: 2101 Irving Avenue South Retaining Wall
Prepared By: [Janelle Widmeier](#), Senior City Planner, (612) 673-3156
Applicant: Jenni Steinberg
Project Contact: Joe Ring, Allied Construction
Request: Replacement of an existing retaining wall.
Required Applications:

Variance	To allow development on a steep slope in the SH Shoreland Overlay District to replace an existing retaining wall.
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SITE DATA

Existing Zoning	R2 Two-Family District SH Shoreland Overlay District
Lot Area	7,157 square feet
Ward(s)	7
Neighborhood(s)	Lowry Hill
Designated Future Land Use	Urban Neighborhood
Land Use Features	Not applicable.
Small Area Plan(s)	Not applicable.

Date Application Deemed Complete	July 26, 2016	Date Extension Letter Sent	Not applicable
End of 60-Day Decision Period	September 24, 2016	End of 120-Day Decision Period	Not applicable

BACKGROUND

SITE DESCRIPTION AND PRESENT USE. The existing use is a single-family dwelling. It was permitted for construction in 1923. Permit records also indicate that the existing garage was constructed at that time. The garage is located at the northeast corner of the property, tucked into the hill, and accessed from the public alley. Also along the rear of the property is a 15 foot tall, damaged and cracked retaining wall with a 4-foot tall fence on top. The current owner recently purchased the property. In October of 2013, the Housing Inspection Services Division sent the previous owner a notice that the existing retaining wall needed to be repaired or replaced. Because the previous owner did not correct the violation, the new owner was notified in June of this year that these violations needed to be addressed.

SURROUNDING PROPERTIES AND NEIGHBORHOOD. The surrounding properties are predominately single-family dwellings. The property to the north has a mirror set-up with the garage and retaining wall. The property to the south has an approximately 7 foot tall retaining wall that abuts the retaining wall on the subject property. The site is less than two blocks from Lake of the Isles.

PROJECT DESCRIPTION. The applicant is proposing to replace the existing U-shaped retaining wall and fence. The garage and the adjacent concrete steps would remain. The retaining wall would be reconstructed in the same location except adjusted along the rear lot line to prevent encroaching into the alley. The height would be the same as well. The new wall would be constructed with granite boulders and a new 4-foot tall wood fence would be constructed on top. The rear of the property is on a steep slope (an average 18 percent slope or greater measured over a horizontal distance of 50 feet or more, with a height of 10 feet or greater). In the SH Overlay District, a variance is required to allow development on a steep slope or within 40 feet of the top of a steep slope. Development is defined as the erection, construction, reconstruction, relocation or enlargement of any structure.

PUBLIC COMMENTS. As of the writing of this report, staff has not received any correspondence from the neighborhood group. Any correspondence received prior to the public meeting will be forwarded on to the Board of Adjustment for consideration.

ANALYSIS

VARIANCE

The Department of Community Planning and Economic Development has analyzed the application for a variance to allow development on a steep slope in the SH Shoreland Overlay District to replace an existing retaining wall, based on the following [findings](#):

1. *Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

Practical difficulties exist in complying with the ordinance due to circumstances unique to the property. The existing retaining wall is significantly cracked and damaged and is failing. The entire area behind the existing dwelling is on a steep slope or within 40 feet of the top of a steep slope. Because the site is located in the SH overlay district, developing in this area, including reconstruction, requires a variance. The wall cannot be reconstructed without a variance.

2. *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

With the adoption of the CPED staff recommendation, the request is reasonable and consistent with the intent of the ordinance and the comprehensive plan. The SH Shoreland Overlay District is established to preserve and enhance the environmental qualities of surface waters and the natural and economic values of shoreland areas within the city, to provide for the efficient and beneficial utilization of those waters and shoreland areas, to comply with the requirements of state law regarding the management of shoreland areas, and to protect the public health, safety and welfare. In order to ensure that adverse environmental impacts are minimal, development on or within 40 feet of a steep slope in the SH Overlay District can only be approved through a variance. Development allowed by variance is subject to the following conditions:

1. *Development must currently exist on the steep slope or within forty (40) feet of the top of a steep slope within five hundred (500) feet of the proposed development.*

Development currently exists on the subject property and adjacent properties that are located on the steep slope and within 40 feet of the steep slope.

2. *The foundation and underlying material shall be adequate for the slope condition and soil type.*

The applicant is proposing to replace an existing retaining wall. If the variance is approved, the development footings and foundation are required to comply with the building code requirements and an engineer's report must be provided. The engineer's design, provided by the applicant, calls for backfilling with sand. The applicant will be required to work closely with the Construction Code Services Section of CPED during the duration of the development to ensure that all procedures are followed in order to comply with city and other applicable requirements to meet this condition.

3. *The development shall present no danger of falling rock, mud, uprooted trees or other materials.*

The applicant is proposing to replace an existing retaining wall to prevent it from failing. During construction, the applicant would utilize a silt fence and biologs to prevent erosion. The design of the wall accounts for drainage and stability of surrounding soils. After construction, the applicant is proposing to maintain the existing grading and plant landscaping. There is a mature deciduous tree approximately 3 feet from the south side of the wall on the adjacent property that is not shown on the survey. The applicant has not identified the potential impact to the tree or potential stabilization measures to prevent the tree from uprooting. The applicant has also not identified the expected duration of construction, what would happen with the excavated soil or how long it stay on site, if a temporary retention system would be put in place, or the extent of the excavation needed to build the new wall. Although additional information was requested, this information was not received at the time this report was written. Therefore CPED staff is recommending that the applicant be required to provide a more detailed erosion control plan that addresses this information and shall also explore stabilization measures for the adjacent tree. If the plans are approved and implemented in the manner required by the building code and in accordance with the engineers design and the soil erosion plan and the additional conditions of approval are adopted, the development should present no danger of falling rock, mud, uprooted trees, or other environmental issues.

4. *The view of the developed slope from the protected water shall be consistent with the natural appearance of the slope, with any historic areas, and with the surrounding physical context.*

The site is located over one block from Lake of the Isles. The area between the protected water and the subject property is developed with single-family dwellings. The proposed wall would not be visible from the lake due to the existing development, topography and vegetation. The site is not located in a designated historic district. The proposed development would also be consistent with the surrounding physical context. There are other tall retaining walls along the alley.

3. *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

Granting the variances would not affect the character of the area or be injurious to the use or enjoyment of other property in the vicinity. Areas of the steep slope have been already been altered by development. The applicant is proposing to replace a failing retaining wall. It would be the same height as the existing wall. If granted, the proposed variance will not be detrimental to the health, safety or welfare of the public or those utilizing the property provided the proposed construction is built to current building codes, the plans are implemented in accordance with the engineer's design, and an erosion control is implemented using best practices.

Additional Standards for Variances within the SH Shoreland Overlay District

In addition, the Zoning Board of Adjustment shall consider, but not be limited to, the following [factors](#) when considering conditional use permit or variance requests within the SH Shoreland Overlay District:

1. *Prevention of soil erosion or other possible pollution of public waters, both during and after construction.*

During construction, the applicant would utilize a silt fence and biologs to prevent erosion. The design of the wall accounts for drainage and stability of surrounding soils. After construction, the applicant is proposing to maintain the existing grading and plant landscaping. There is a mature deciduous tree approximately 3 feet from the south side of the wall on the adjacent property that is not shown on the survey. The applicant has not identified the potential impact to the tree or potential stabilization measures to prevent the tree from uprooting. The applicant has also not identified the expected duration of construction, what would happen with the excavated soil or how long it stay on site, if a temporary retention system would be put in place, or the extent of the excavation needed to build the new wall. Although additional information was requested, this information was not received at the time this report was written. Therefore CPED staff is recommending that the applicant be required to provide a more detailed erosion control plan that addresses this information and shall also explore stabilization measures for the adjacent tree.

1. *Limiting the visibility of structures and other development from protected waters.*

The site is located over one block from Lake of the Isles. The area between the protected water and the subject property is developed with single-family dwellings. The proposed wall would not be visible from the lake due to the existing development, topography and vegetation.

2. *The suitability of the protected water to safely accommodate types, uses and numbers of watercraft that the development may generate.*

This standard is not applicable for the proposed development.

RECOMMENDATIONS

The Department of Community Planning and Economic Development recommends that the Zoning Board of Adjustment adopt staff findings for the application by Jenni Steinberg for the property located at 2101 Irving Avenue South:

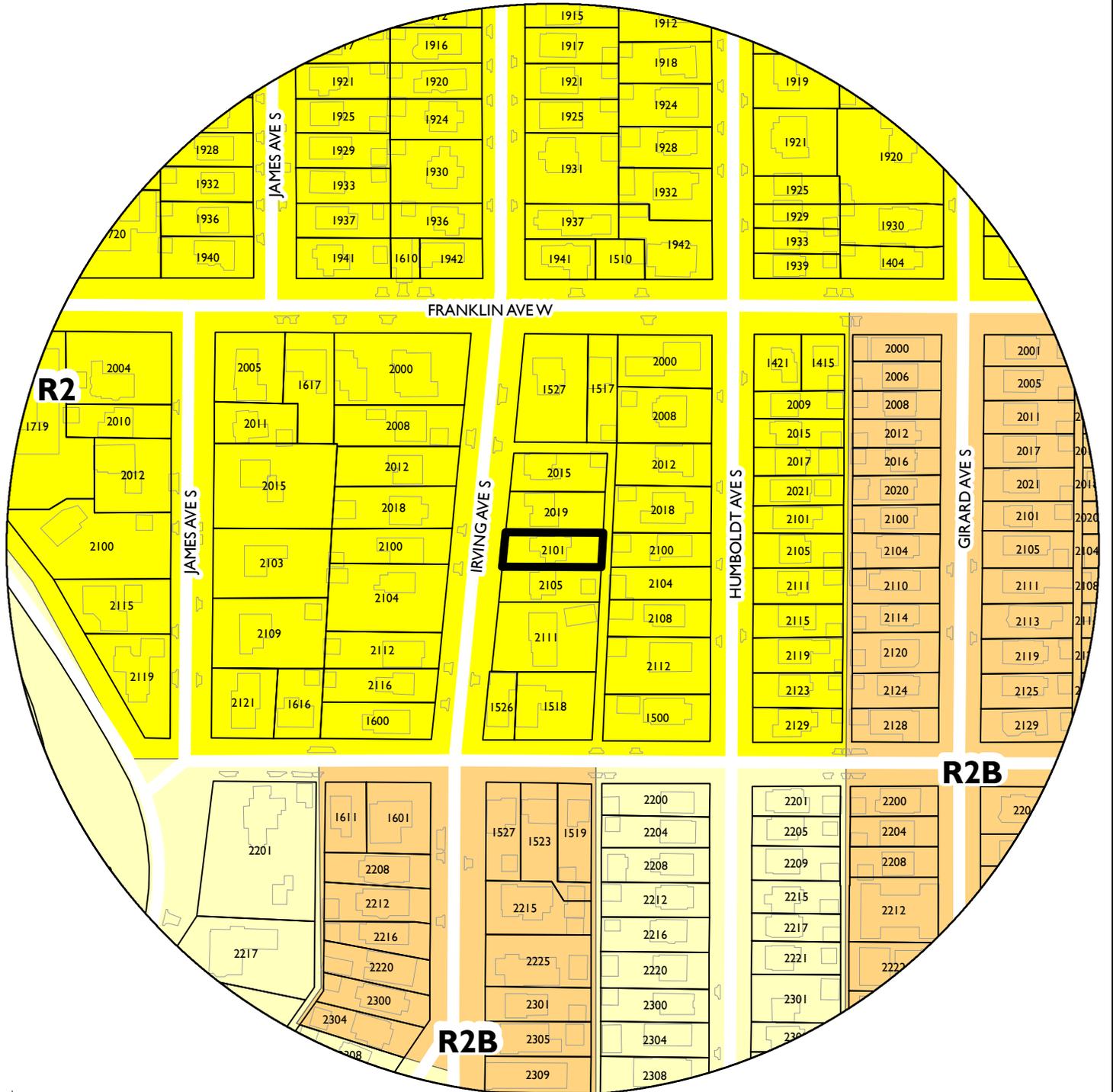
A. Variance to allow development on a steep slope in the SH Shoreland Overlay District.

Recommended motion: **Approve** the variance to allow development on or within 40 feet of the top of a steep slope in the SH Shoreland Overlay District to replace an existing retaining wall, subject to the following conditions:

1. A more detailed erosion control plan shall be provided that also identifies the expected duration of construction, what would happen with the excavated soil or how long it stay on site, if a temporary retention system would be put in place, and the extent of the excavation needed to build the new wall.
2. The applicant shall explore stabilization measures to prevent the tree on the adjacent property to the south from uprooting.
3. Approval of the final site, elevation and floor plans by the Department of Community Planning and Economic Development.
4. All site improvements shall be completed by August 25, 2018, unless extended by the Zoning Administrator, or the permit may be revoked for non-compliance.

ATTACHMENTS

1. Zoning map
2. Written description and findings submitted by applicant
3. Site survey
4. Site plan/construction drawings signed by an engineer
5. Photos



PROPERTY ADDRESS

2101 Irving Avenue South

FILE NUMBER

BZZ-7829

JOB SITE: 2101 IRVING AVENUE SOUTH, MINNEAPOLIS

STATEMENT OF PROPOSED USE AND DESCRIPTION OF THE PROJECT:

1. REPLACE EXISTING RETAINING WALL AND FENCE. INSTALL A GRANITE RETAINING WALL AND 4 FT FENCE THIS IS A RESULT OF A FAILING RETAINING WALL.

STATEMENT OF PROPOSED USE AND DESCRIPTION OF THE PROJECT:

1. DESCRIPTION OF PROJECT AND CODE 18% SHORELINE IS TRIGGERED DO TO GRADING: EXISTING RETAINING WALL AND FENCE IS FAILING DO TO INTEGRITY. INSTALL A NEW GRANITE RETAINING WALL AND INSTALL A NEW 4 FT FENCE. CITY HAS WORK ORDER TO BE REPLACED.

2. LAND USE APPLICATIONS THAT THE APPLICANT IS AWARE ARE NEEDED FOR THE PROJECT: SHORELINE VARIANCE FOR STEEP SLOPE

3. ADDRESS OF THE PROPERTY FOR WHICH ZONING APPROVAL IS SOUGHT:
2101 IRVING AVENUE SOUTH, MINNEAPOLIS MN

4. APPLICANT'S NAME, ADDRESS, TELEPHONE NUMBER AND EMAIL ADDRESS:
OWNER: JENNI STEINBERG, 2101 IRVING AVENUE SOUTH, MINNEAPOLIS,

APPLICANT'S INFO: ALLIED CONSTRUCTION, ATTN: JOE RING, 5835 DUNKIRK LANE NORTH, PLYMOUTH MN 55340, 651-280-0927, JHRING92@GMAIL.COM.

VARIANCE AND CODE (18% SHORELINE IS TRIGGERED DO TO GRADING):

1. EXISTING RETAINING WALL IS FAILING DO TO INTEGRITY. ALSO THE CITY HAS A WORK ORDER TO REPLACE FAILING WALL.
2. PROTECTING THE SITE: WITH BIOLOGS, SILT FENCE
3. NO WATERCRAFT : N/A



SCOPE

DESIGN AND DETAIL OF BOULDER RETAINING WALLS FOR A SINGLE FAMILY RESIDENCE. THIS WORK CONSISTS OF CONSTRUCTING BOULDER RETAINING WALL STRUCTURES TO REPLACE FAILING CONCRETE WALL STRUCTURES AT THE SOUTHEAST CORNER OF THE PROPERTY. REFER TO SURVEY PREPARED BY OTTO ASSOCIATES CERTIFIED ON 5-24-16 FOR SITE INFORMATION. CONSTRUCTION IS TO BE DONE IN ACCORDANCE WITH THESE DRAWINGS, STANDARD INDUSTRY PRACTICE, AND THE REQUIREMENTS OF THE CODE.

GENERAL NOTES

1. INFORMATION USED IN THE DESIGN OF THESE BOULDER WALLS WAS REPORTED BY THE CONTRACTOR IN THE FIELD, OR TAKEN FROM THE SITE PLAN. ALL INFORMATION IS TO BE VERIFIED PRIOR TO THE START OF CONSTRUCTION. CITY INSPECTIONS ARE TO BE CONDUCTED TO VERIFY CONFORMANCE WITH THESE DOCUMENTS. ALL EXISTING CONDITIONS AND CONTOURS ARE TO BE FIELD VERIFIED AND ALL DRAINAGE IS TO BE VERIFIED. IF ANY DRAINAGE CONCERNS OR SITE DESIGN CONCERNS ARISE DURING CONSTRUCTION, CONSULT THE SITE ENGINEERING AND SURVEY COMPANY, OTTO ASSOCIATES FOR REQUIREMENTS, AND NOTIFY THE HANSON GROUP.
2. IN PREPARATION OF WALL DESIGN, SOIL STRENGTH PARAMETERS WERE ASSUMED. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE SOIL STRENGTH PARAMETERS ARE REPRESENTATIVE OF THE SOILS AVAILABLE FOR WALL CONSTRUCTION. IF THE SOIL STRENGTH PARAMETERS ARE FOUND TO BE INCONSISTENT WITH THOSE ASSUMED, THIS DESIGN IS NO LONGER VALID AND IT IS THE RESPONSIBILITY OF CONTRACTOR, TO NOTIFY THE HANSON GROUP SO THE RETAINING WALL SYSTEM CAN BE REDESIGNED. FAILURE TO NOTIFY THE HANSON GROUP MAY RESULT IN AN INADEQUATE RETAINING WALL. THE CONTRACTOR REPORTED THAT ALL BACKFILL WILL BE BROUGHT IN GRANULAR MATERIAL.
3. DESIGN SOIL PARAMETERS: RETAINED SOIL - (IMPORT) $\phi=34$ DEGREES MIN, $\gamma=115\pm$ PCF, SAND SOILS, ALLOWABLE SOIL BEARING PRESSURE - 2,000 PSF. FIELD VERIFY WITH GEOTECHNICAL ENGINEERING TESTING DURING CONSTRUCTION.
4. ANY EXCAVATION BELOW THE WALL SHOULD HAVE PROPER 1:1 LATERAL OVERSIZING. EXCAVATION OVERSIZING SHOULD BE MEASURED FROM THE FRONT TO THE BACK OF THE LOWEST BLOCK.
5. THIS SET OF BOULDER RETAINING WALL PLANS ARE BASED ON INFORMATION BY THE BOULDER CONTRACTOR AND PROVIDED SURVEY PREPARED BY OTTO ASSOCIATES. NO NEWER SITE PLAN OR SURVEY HAS BEEN PROVIDED TO VERIFY EXISTING OR PROPOSED SITE INFORMATION. THE CONTRACTOR IS TO WORK WITH OTTO ASSOCIATES TO COORDINATE THE SITE DESIGN. IF OTHER PLANS ARE PRODUCED THAT CONTAIN DIFFERENT INFORMATION THAN THAT REFERENCED, THIS PLAN MAY NEED TO BE REVISED AND/OR THE WALL MAY NEED TO BE REDESIGNED.
6. LOCATION OF THE RETAINING WALL IN RELATION TO PROPERTY LINES, UTILITY EASEMENTS, WATERSHED EASEMENTS, OR ANY OTHER TYPE OF EASEMENTS ARE THE RESPONSIBILITY OF THE OWNER. THE HANSON GROUP ASSUMES NO LIABILITY FOR THE LOCATION OF THE BOULDER RETAINING WALLS OR IF CONSTRUCTION OF THE PROPOSED BOULDER RETAINING WALLS ENCROACH ANY PROPERTY LINES OR EASEMENTS.
7. IT IS IMPERATIVE THAT THE SITE SURVEYING OF THE BOULDER RETAINING WALLS BE BASED ON SURVEYED SITE PLANS AND NOT PROFILE PLANS OR SECTIONS DONE BY THE HANSON GROUP. SURVEYING OF THE BOULDER RETAINING WALLS MUST TAKE INTO ACCOUNT THE DESIGN BATTER INDICATED ON THE ENCLOSED PLANS AND DETAILS. FAILURE TO TAKE INTO ACCOUNT WALL BATTER FOR THE BOULDER RETAINING WALL SURVEYING WILL PRODUCE INCORRECT LOCATIONS OF ALL TOP OF WALLS AND SHALL BE CORRECTED AT NO COST TO THE HANSON GROUP.
8. WALL GEOMETRY, LOCATIONS, SLOPES AND SURCHARGE LOADS FOR THE BOULDER RETAINING WALLS WERE ASSUMED FROM THE PROJECT PLANS REFERENCED ABOVE. IF CONDITIONS VARY GREATLY IN THE FIELD FROM THOSE SHOWN ON THIS PLAN, THE HANSON GROUP MUST BE NOTIFIED PRIOR TO CONSTRUCTION OF THE BOULDER RETAINING WALLS TO REVIEW THE DESIGN AND/OR PLANS. MODIFICATIONS TO THE DESIGN AND/OR PLANS MAY BE REQUIRED AFTER THE REVIEW, AND MAY TAKE UP TO TEN BUSINESS DAYS TO COMPLETE.
9. THE HANSON GROUP'S SCOPE IS LIMITED TO THE DESIGN OF THE ITEMS LISTED IN THE PROJECT SCOPE ABOVE. DESIGN OF THE REMAINING ELEMENTS, INCLUDING DRAINAGE, EROSION CONTROL, GLOBAL SLOPE STABILITY, ETC. IS BY OTHERS. CONTACT THE HANSON GROUP SHOULD ADDITIONAL ENGINEERING BE REQUESTED. NO DETAILED INSPECTIONS WERE CONDUCTED OR REQUESTED. A REVIEW OF THE WALLS TO BE REMOVED, AS WELL AS THE EXISTING WALLS, STEPS, AND UNDERGROUND PARKING TO REMAIN WAS NOT PERFORMED AND IS NOT INCLUDED IN THIS SCOPE.
10. THE COMPACTED BASE FOR THE BOULDER RETAINING WALLS IS TO BE BURIED INTO VIRGIN MATERIAL OR ENGINEERED FILL AS SHOWN IN THE WALL SECTIONS ALONG THE ENTIRE LENGTH OF THE WALL.
11. MINOR SURCHARGE LOADING ABOVE WALL HAS BEEN DESIGNED FOR (50 PSF).
12. GRADE AT THE TOP OF THE WALL IS TO BE RELATIVELY LEVEL (2% MAX. GRADE) UNLESS NOTED OTHERWISE. GRADE AT THE BOTTOM OF THE WALL IS TO BE RELATIVELY LEVEL (2% MAX. GRADE).
13. THE DRAINAGE MEDIUM IS TO BE COMPACTED OVER THE FULL HEIGHT OF THE WALL AND CAPPED WITH A 6" THICK CLAY LAYER. PROPER COMPACTION PROVIDES FOR SOLID PACKED MATERIAL, WHICH TENDS NOT TO SHIFT BEHIND THE WALL.
14. INSTALL DRAINTILE AT THE BASE OF THE WALL. DRAINTILE IS TO DRAIN TO DAYLIGHT AT EACH END OF THE WALL AND INTERMEDIATELY USING WEEPS SPACED AT NO GREATER THAN EIGHT FEET ON CENTER OR AS REQUIRED. DRAINTILE AND DRAINAGE ARE ESSENTIAL TO KEEP THE FLUID PRESSURE REDUCED BEHIND THE WALL.
15. WALL LAYOUT, ELEVATIONS, PROPERTY BOUNDARIES, GRADING, EXCAVATION, GLOBAL SLOPE STABILITY, VERIFICATION OF INFORMATION, AS WELL AS DRAINAGE IS BY OTHERS. SITE ENGINEER AND GEOTECHNICAL ENGINEER PROVIDING SITE VERIFICATION FOR THE ABOVE ITEMS ARE TO VERIFY THAT NO GLOBAL STABILITY CONCERNS ARE PRESENT. THESE DOCUMENTS APPLY TO STRUCTURAL DESIGN ASPECTS OF THE BOULDER RETAINING WALL ONLY.
16. CONTRACTOR IS TO HAVE SUB BASE TESTING FOR COMPACTION AS WELL AS BACKFILL MATERIAL FOR COMPACTION AND MATERIAL CONFORMANCE. 95% STANDARD PROCTOR DENSITY IS TO BE ACHIEVED AT A MINIMUM FOR ALL MATERIALS. TESTING IS TO BE PERFORMED BY A LICENSED GEOTECHNICAL FIRM AND ALL REPORTS ARE TO BE SUBMITTED TO THE HANSON GROUP.
17. INSTALL SMALL ROCKS BETWEEN LARGER BOULDERS TO PROVIDE A SOLID WALL AND TO PROVIDE SUPPORT FOR THE DRAINAGE MEDIUM.
18. DEPENDING ON THE DRAINAGE MEDIUM AND ON-SITE MATERIAL, THE CONTRACTOR WILL EITHER INSTALL FILTER FABRIC BEHIND THE DRAINAGE MEDIUM IN FRONT OF THE BACKFILL TO ENSURE THAT THE BACKFILL MATERIAL DOES NOT WORK OUT INTO THE DRAINAGE MEDIUM (OPTIMAL FOR A GRAVEL DRAINAGE MEDIUM) OR BETWEEN THE BOULDERS AND DRAINAGE MEDIUM (OPTIMAL FOR A SAND DRAINAGE MEDIUM).
19. IN ADDITION TO THE SOIL COMPACTION TESTING OF THE SUB BASE AND BACKFILL MATERIAL, IF A FINAL ENGINEERING REVIEW OF THE WALL WILL BE REQUIRED, THEN EITHER THE HANSON GROUP OR A LICENSED TESTING COMPANY IS TO BE CONTRACTED TO PERFORM VISUAL OBSERVATIONS OF THE BURY DEPTH, BOULDER SIZE, WALL BATTER, AND DESIGN PARAMETERS SPECIFIED TWICE, ONCE AT THE BOTTOM OF THE WALL AND ONCE APPROXIMATELY MIDWAY THROUGH WALL COMPLETION.

MATERIALS

BOULDERS: GRANITE BOULDERS - GEOMETRY VARIES - SEE DETAILS
 BACKFILL: BACKFILL TO BE BROUGHT IN - SAND MATERIAL (EQUIVALENT FRICTION ANGLE = 34°)
 DRAINAGE MEDIUM: 100% SAND OR GRAVEL MATERIAL (NO FINES)
 BOULDER DENSITY: $\gamma=155$ PCF
 ALLOWABLE SOIL BEARING PRESSURE: 2000 PSF (ASSUMED)
 SURCHARGE: 50 PSF

CODES

2015 MINNESOTA STATE BUILDING CODE

Client:

Hawkins Tree & Landscaping

1776 Canterbury Rd. S
Shakopee, MN 55379

Rev	Description	Date

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Signed: Trevor Axner
 Print Name: Trevor Axner
 Date: 7-14-16 License Number: 45470



3407 Kilmer Lane North
Suite 4
Plymouth, MN, 55441
Tel 612-708-3572
www.hansongroupmn.com

Project:

Boulder Retaining Walls

2101 Irving Ave S
Minneapolis, MN

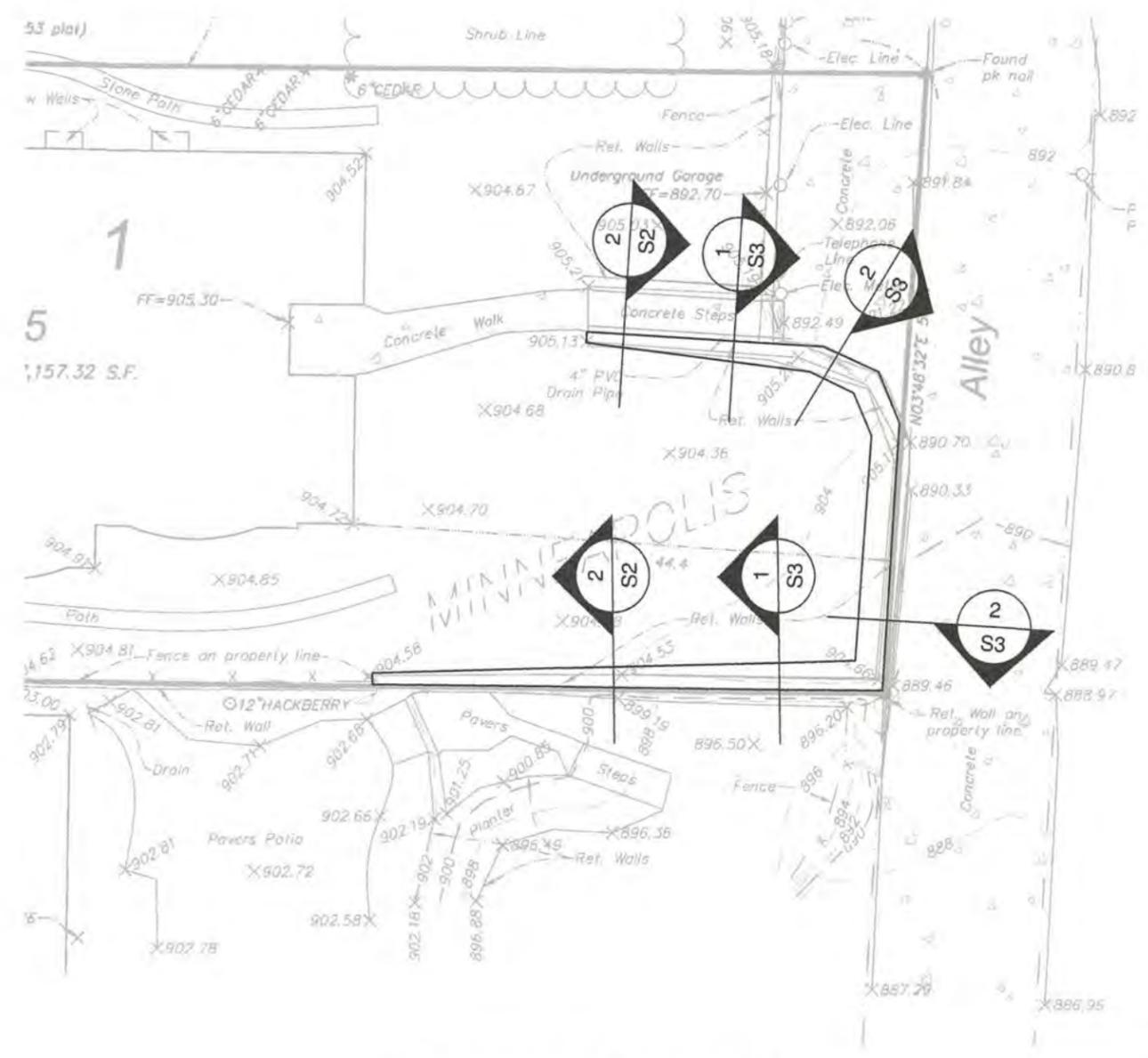
Project Number: 6371
Date: July 14, 2016
Sheets: 1 of 3

S1

BTRE T92649

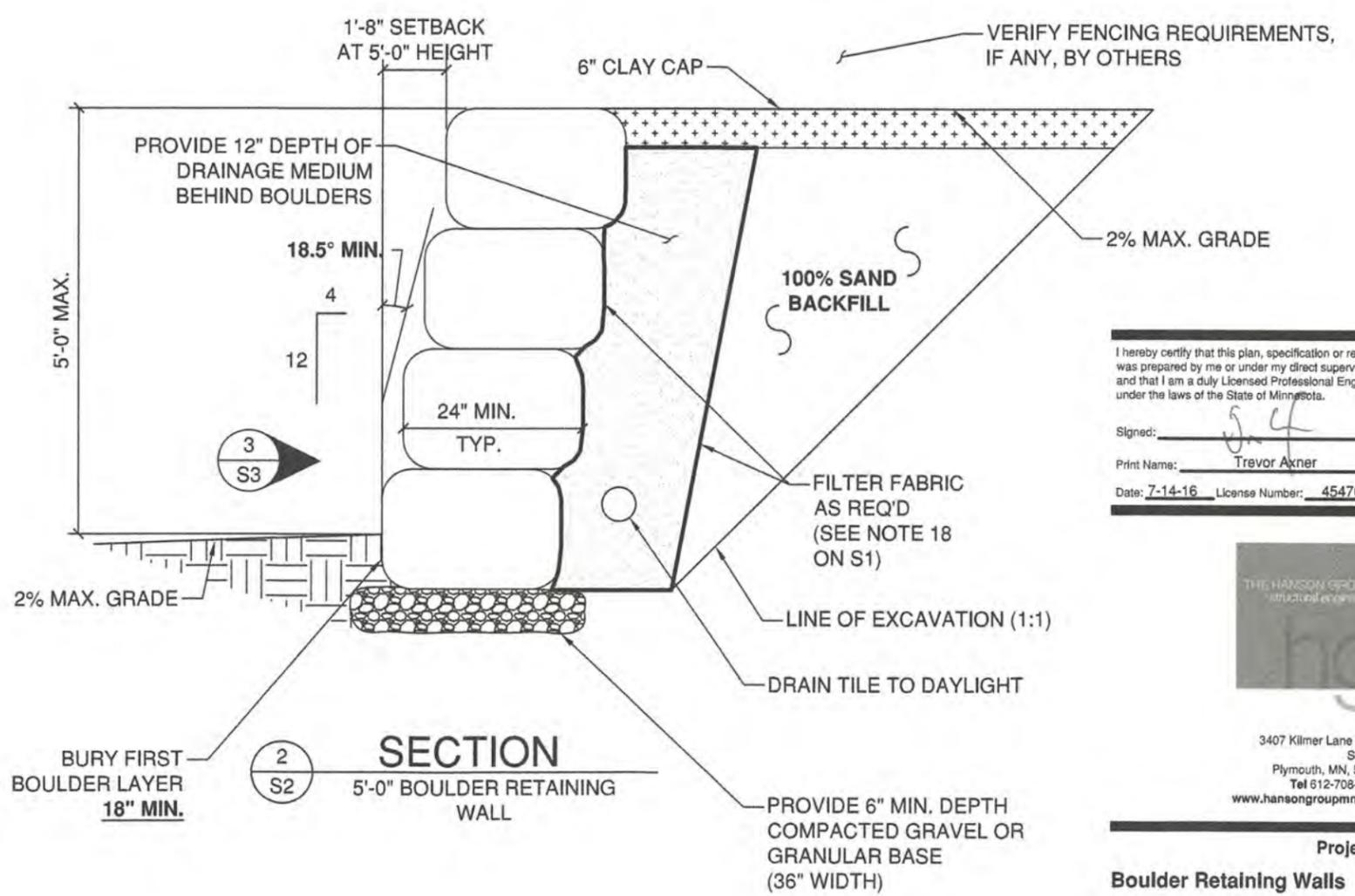
Rev	Description	Date

PLANS SHOWN LIGHT IN BACKGROUND ARE FOR LOCATION REFERENCE ONLY. PLAN NOTES AND ELEMENTS SHOWN LIGHT MAY NOT NECESSARILY SUPPORT THE HANSON GROUP'S DESIGN.



1 REFERENCE PLAN
PARTIAL SITE PLAN SHOWN FOR LOCATION REFERENCE ONLY

BOULDER DIMENSIONS SHOWN ARE MINIMUM DEPTH OF BOULDERS AS MEASURED INTO RETAINED SOIL. HEIGHT AND WIDTH DIMENSIONS PARALLEL WITH WALL MAY VARY



SECTION
5'-0" BOULDER RETAINING WALL

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Signed: *Trevor Axner*
Print Name: **Trevor Axner**
Date: 7-14-16 License Number: 45470



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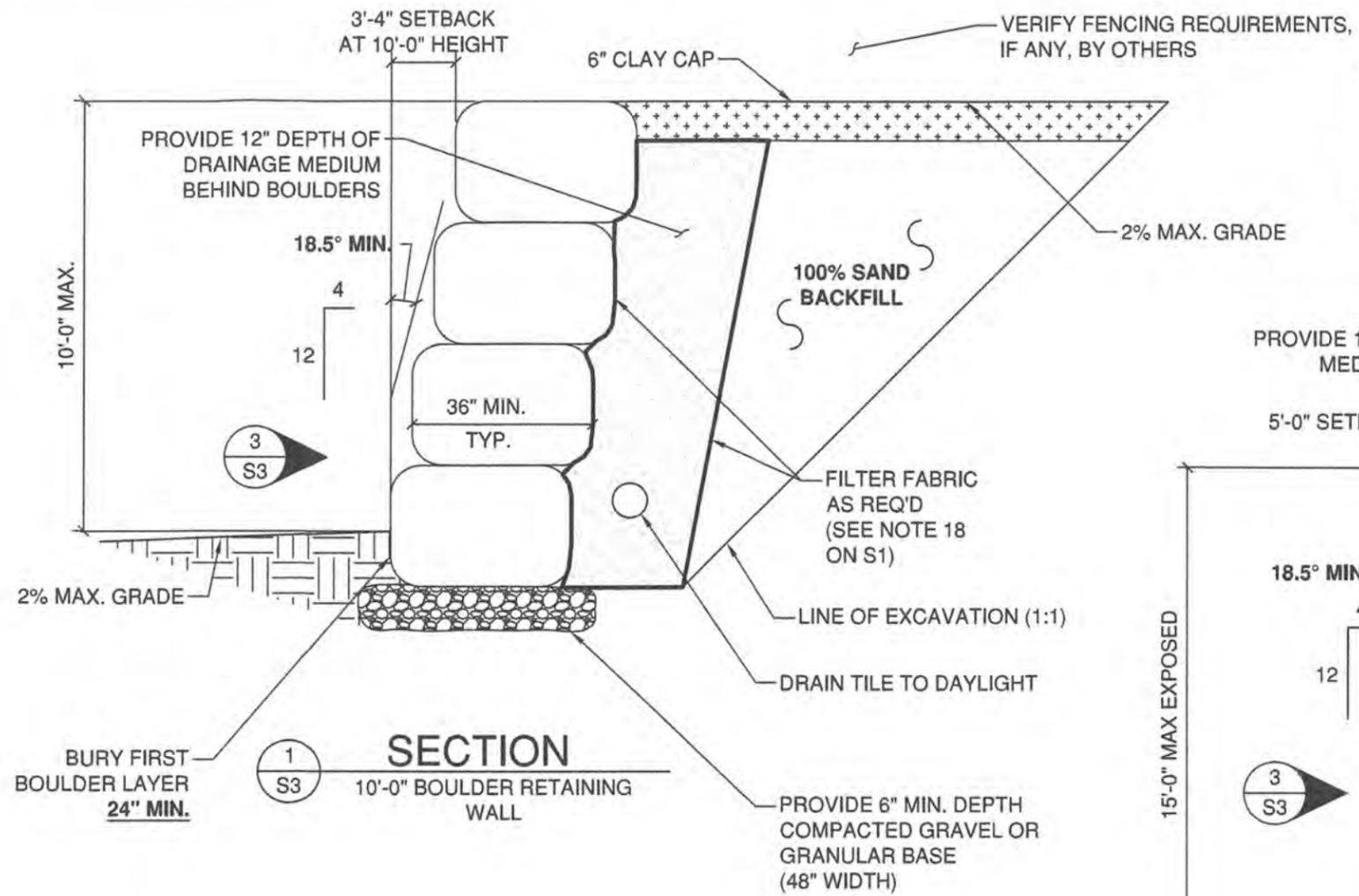
Project:
Boulder Retaining Walls

2101 Irving Ave S
Minneapolis, MN

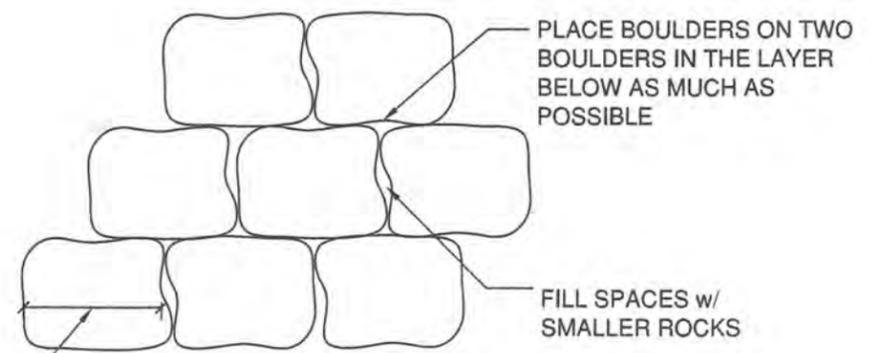
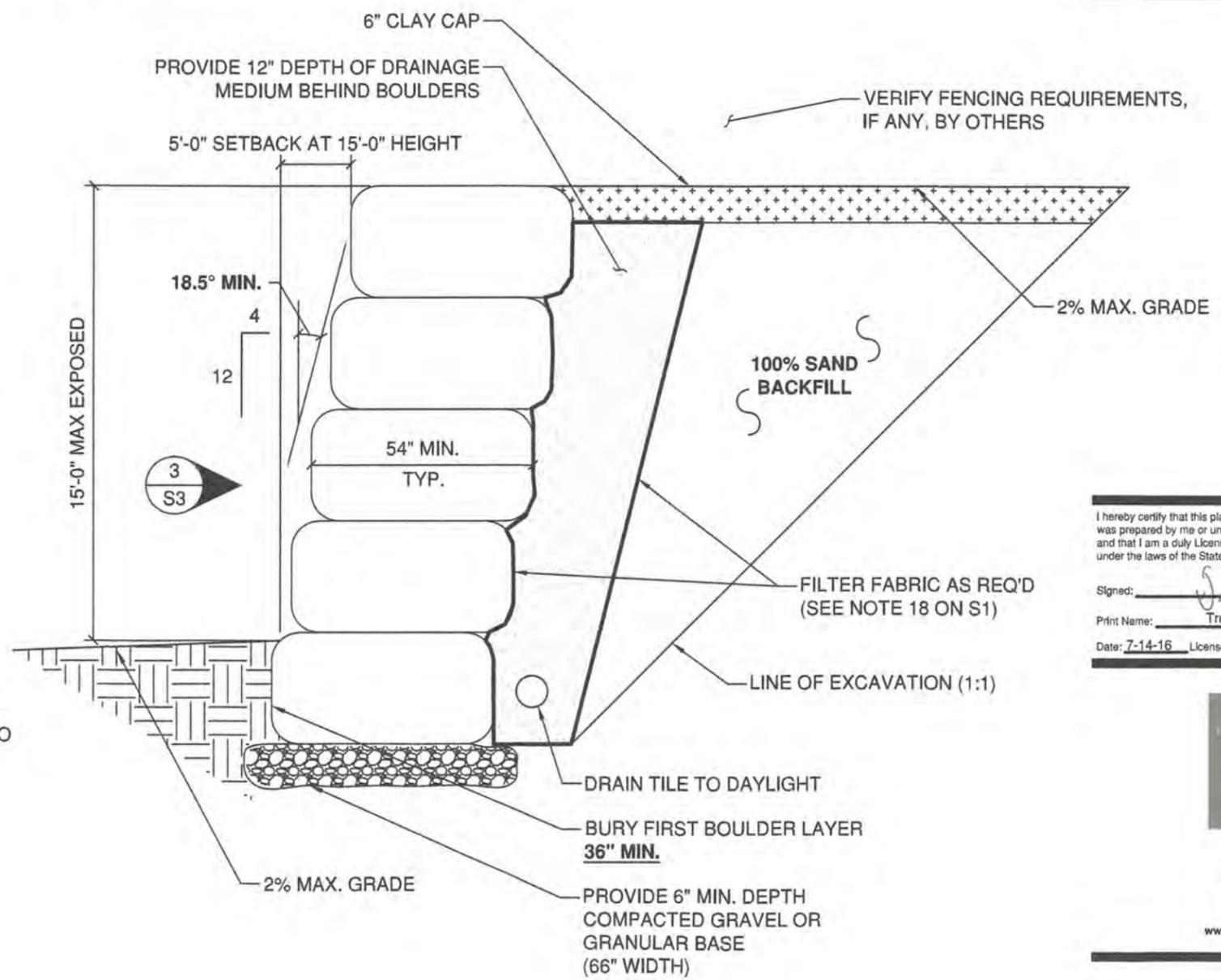
Project Number: 6371
Date: July 14, 2016
Sheets: 2 of 3

S2

Rev	Description	Date



BOULDER DIMENSIONS SHOWN ARE MINIMUM DEPTH OF BOULDERS AS MEASURED INTO RETAINED SOIL. HEIGHT AND WIDTH DIMENSIONS PARALLEL WITH WALL MAY VARY



DIMENSION SHOWN ON THE SECTION IS MINIMUM DEPTH OF BOULDER. HEIGHT AND LENGTH MAY VARY ACCORDINGLY

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Signed: Trevor Axner
 Print Name: Trevor Axner
 Date: 7-14-16 License Number: 45470



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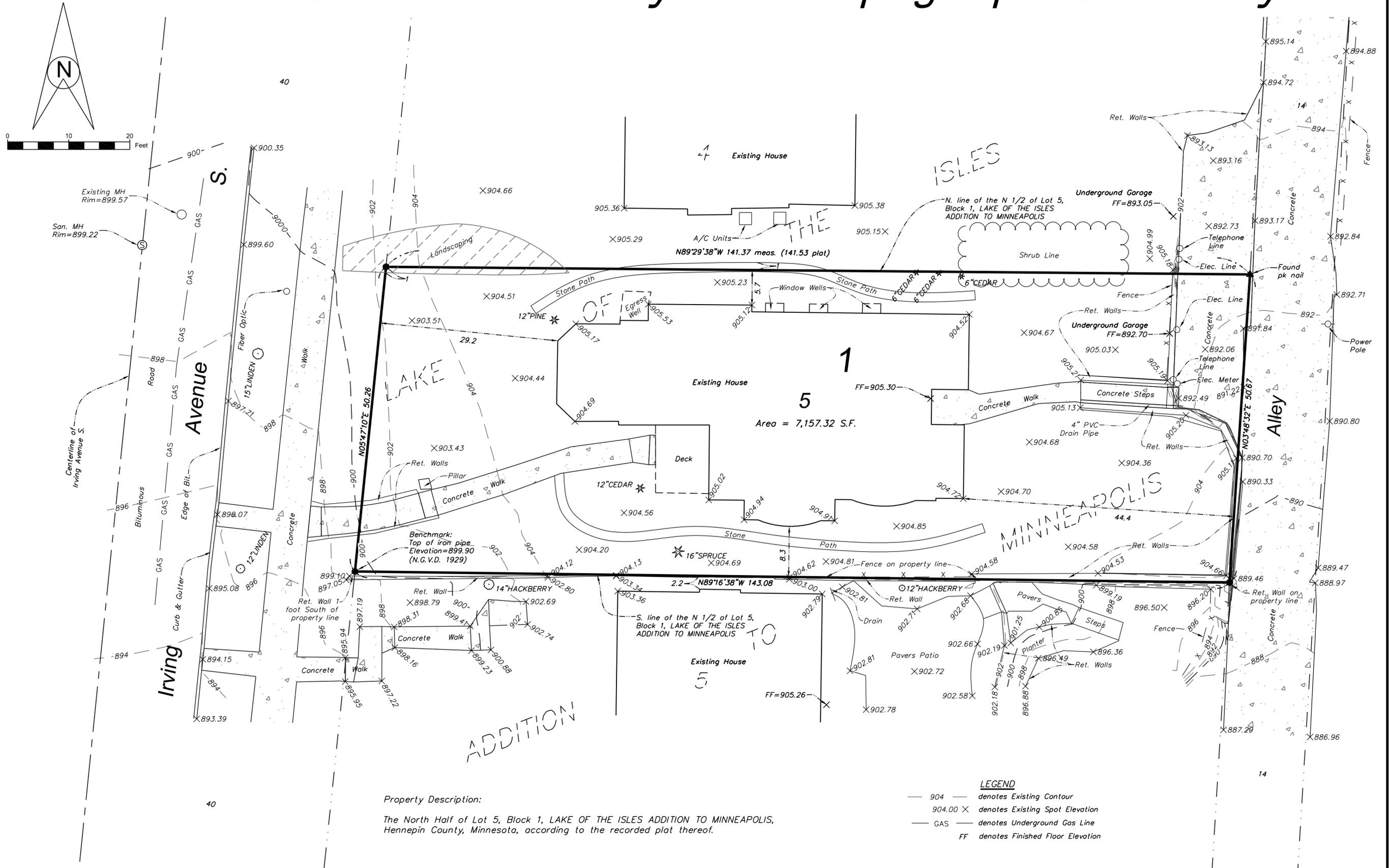
Project:
Boulder Retaining Walls

2101 Irving Ave S
 Minneapolis, MN

Project Number: 6371
 Date: July 14, 2016
 Sheets: 3 of 3

S3

Certificate of Survey and Topographic Survey



Property Description:
 The North Half of Lot 5, Block 1, LAKE OF THE ISLES ADDITION TO MINNEAPOLIS, Hennepin County, Minnesota, according to the recorded plat thereof.

LEGEND
 — 904 — denotes Existing Contour
 904.00 X denotes Existing Spot Elevation
 — GAS — denotes Underground Gas Line
 FF denotes Finished Floor Elevation

Certificate of Survey and Topographic Survey on part of Lot 5, Block 1, LAKE OF THE ISLES ADDITION TO MINNEAPOLIS, Hennepin County, Minnesota.

I hereby certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Paul E. Otto
 Paul E. Otto
 License #40062 Date: 5-24-16

Requested By:

Jenni Steinberg

Date: 5-13-16 Drawn By: T.J.B. Scale: 1"=10' Checked By: P.E.O.



www.ottoassociates.com
 9 West Division Street
 Buffalo, MN 55313
 (763)682-4727
 Fax: (763)682-3522

- denotes iron monument found
- denotes 1/2 inch by 14 inch iron pipe set and marked by License #40062

Project No. 16-0254

Revised:

















From: [Debra Van De Weghe](#)
To: [Widmeier, Janelle A.](#)
Subject: 2101 Irving Ave. S. - alley retaining wall project
Date: Saturday, August 13, 2016 3:20:34 PM

Hi Janelle,

Our names are Debra and Charles Van De Weghe, and we reside at 2104 Humboldt Ave. S., in Minneapolis. Our garage is directly across the alley from 2101 Irving Ave. S., where the existing retaining wall is failing.

We understand that the new owners of 2101 Irving Ave. S. are planning to replace this crumbling retaining wall, and that you are the city planner assigned to the project.

We have heard thru the grapevine that there is a public hearing scheduled for August 25. As of today's mail (August 13), we have not received notice of any public hearing.

Since we are alley neighbors to 2101 Irving Ave. S., we want you to know our priorities and concerns regarding the project:

- **SAFETY.** We hope the wall be demolished safely, to ensure that slabs of concrete do not fall onto our new driveway and garage. We expect the contractor to maintain a safe construction site, making sure that the alley is cleaned up on a daily basis so we aren't driving over nails, concrete and other construction debris. We would also like to know the plan for getting heavy construction equipment safely into this narrow alley, without damaging trees, existing walls and structures, and the alley surface?
- **SPEED OF COMPLETION.** Having the alley blocked, or messy, for any period of time is going to be a major inconvenience for all alley neighbors, but since we are directly across from the wall, we will be greatly impacted. We need to be able to get in and out of our garage. We do not want to be in the middle of a project-that-never-ends kind of situation. We are looking for a get-it-done-quickly construction schedule that is aggressive, considerate-to-alley-neighbors, and strictly adhered to, with possible penalties assessed for missed deadlines.
- **STRONG COMMUNICATION.** We have received no information from the property owners about this project, no neighborly requests for input, no details about the timing or the process. We built our current home in 2015, and we know first-hand that construction projects are inconvenient to neighbors. We sent out weekly email updates, and connected directly with neighbors at every step along the way, to try and keep everyone in the loop. For this project, we, as neighbors, hope and expect to be in constant communication with the project manager.

Thank you so much for listening, Janelle. We hope the city will play a strong role in facilitating a successful wall re-build for 2101 Irving Ave. S. We plan to attend the public hearing, and look forward to having you address these concerns, and the concerns of other impacted neighbors.

Please forward details of the August 25 meeting. (time, place, etc.)

Thanks again.

Sincerely,

Debra and Charles Van De Weghe
2104 Humboldt Ave. S.
Minneapolis, MN 55405
612 801 2207 c

From: [marla Horwich](#)
To: [Widmeier, Janelle A.](#)
Cc: [Peter Horwich](#); [Weakly, Ruth A.](#)
Subject: Re: Request for information on hearing regarding retaining wall located at 2101 Irving Ave South
Date: Monday, August 15, 2016 7:20:53 AM

Hi Janelle

Thank you again for sending the plans for the wall at 2101 Irving avenue south and for providing the contractors contact info.

I have reached out to the contractor and am trying to coordinate a meeting with him and Jenni Steinberg for later this week

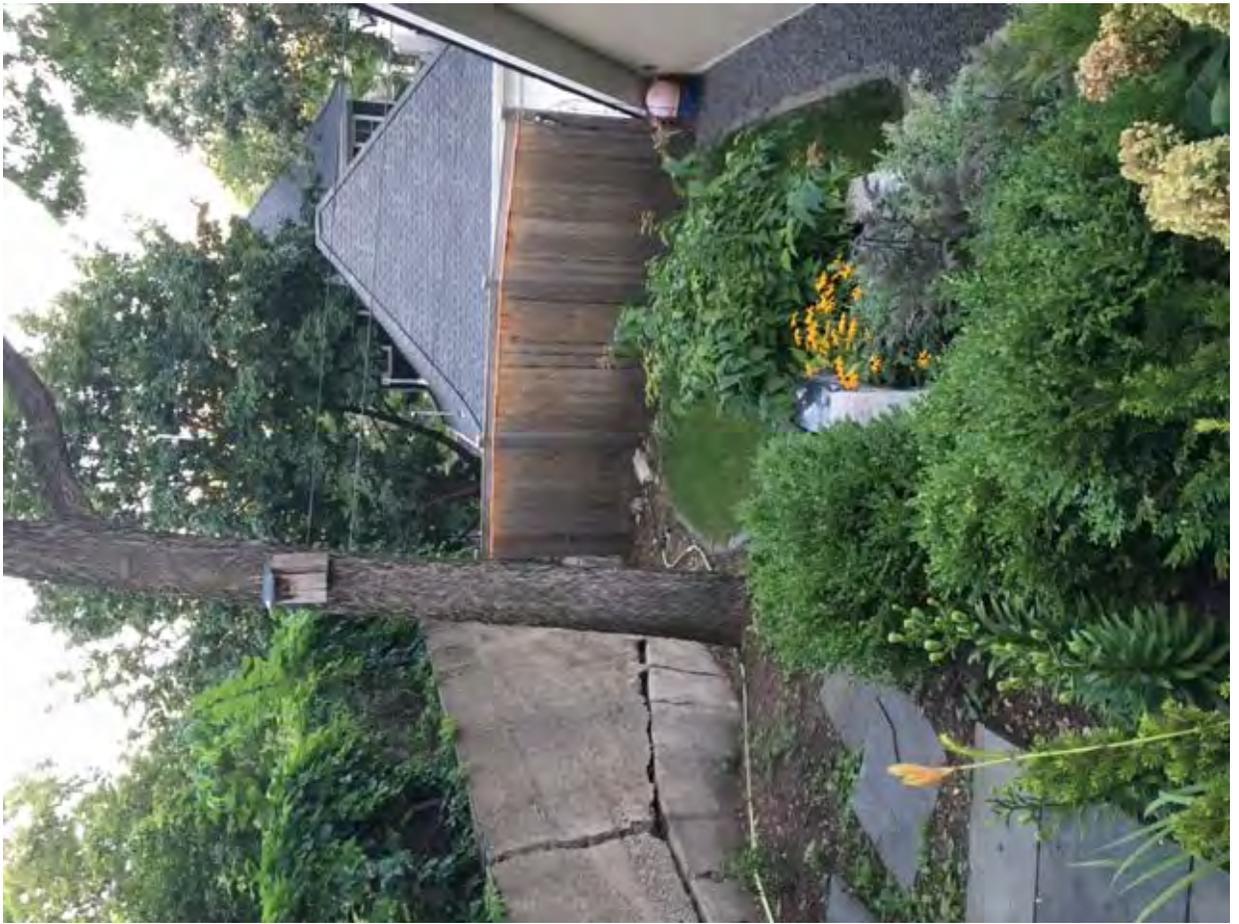
With regards to contacting 311 - I have not yet reached out but I am wondering if I should be contacting them to ask their position on this or if will they be part of the application review process since this work may impact the alley access, alley surfaces and garbage removal for multiple homeowners? Please advise

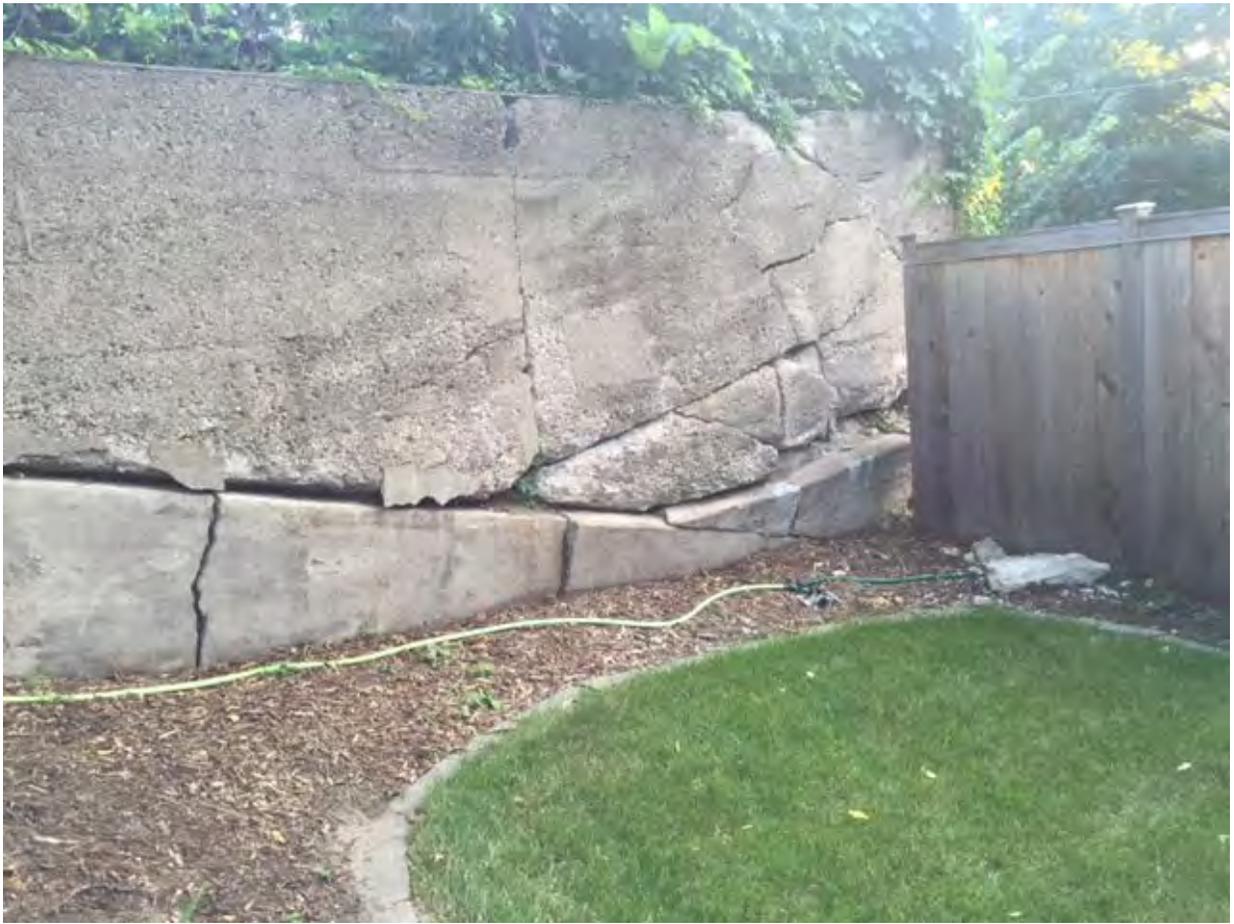
In the meantime we received the letter informing us of the upcoming public meeting. In advance of the meeting we would like to formally share our thoughts and concerns with you

As I stated previously my husband and I are not opposed to the repair/replacement of this wall. We are excited that this safety issue is finally being addressed
Our primary concerns with project fall within 2 categories: safety and protection of property

To better illustrate why safety and protection of property are concerns, I have attached 4 photos. The first 3 are taken from inside our backyard and show the retaining wall from 2101 Irving rising 10 feet above our yard with chunks of concrete that have fallen from the wall onto our grass. The wall in question sits over our yard and adjacent to a large tree on our property. The last picture is a view from the alley. The left side shows our retaining wall with wooden fence above. To the right you can see the wall from 2101 Irving (with vines) which rises approx 15feet above the alley. the silver squares are where the previous owner of 2101 injected a substance into the earth to stabilize the soil and reduce movement of the wall

We would like to understand how our property (including trees, landscaping and structures) will be protected during the excavation and rebuilding process









After receiving the letter informing of us of the upcoming hearing we did some digging and realized that our concerns regarding safety and protection of property are consistent with those addressed within the city's "Residential construction management agreement". It seems that this agreement is used for major remodeling projects
Is this agreement in place for 2101 Irving S?

When you consider all the work collectively being done at 2101 Irving this seems to fit the bill

The home at [2101 Irving Avenue South](#) is an unoccupied dwelling (has been vacant for more than 2 years) going through extensive construction since the new owners took possession in March including:

- gutting of all walls to studs
- reframing of walls and replacing load bearing walls with new I beams
- removal of existing staircases
- Gutting of all bathrooms and kitchen
- removal of radiant heat
- installation of new heating and cooling
- installation of new plumbing and electrical
- a bump out on the back of the house
- and of course the repair replacement of the crumbling retaining wall

If I am reading The Minneapolis Residential construction management agreement correctly it

addresses the following concerns (among others):

- Protection of adjoining property - this seems to address the need to protect adjoining properties. Will this be done?
- tree protection - will this be leveraged?
- dust control
- erosion and sediment control - since the land disturbance, as indicated by the drawing you shared, exceeds 500sq feet (the volume defined in the soil erosion application) will these controls be put into place? And Is there a soil erosion application?

As a side note regarding soil and erosion, the previous owners injected a substance into the earth (in response to a city code violation they had received related to the wall) to stabilize the earth and slow down the movement of the retaining wall. We are wondering how this substance will be removed and disposed of. Will this be addressed?

Can you confirm this residential construction agreement is in place for [2101 Irving avenue south](#) and can be used by homeowners such as ourselves to protect our property and our rights?

If this agreement is not in place what does the city offer to protect the rights of homeowners, like us, that are impacted by projects such as this?

Thank you in advance for your help addressing these matters.

Marla and Peter Horwich
612-875-0355

Sent from my iPhone

On Aug 12, 2016, at 4:59 PM, Widmeier, Janelle A. <Janelle.Widmeier@minneapolismn.gov> wrote:

Hi Marla,

For your questions about the public alley, you will need to contact the Public Works Department by calling 311. I was unable to look into your other questions this week, so I'll do some additional information gathering next week.

Janelle Widmeier
Senior City Planner

City of Minneapolis – Community Planning and Economic Development
250 4th Street South – Room 300
Minneapolis, MN 55415

Office: 612-673-3156
janelle.widmeier@minneapolismn.gov
www.minneapolismn.gov/cped

From: marla Horwich [<mailto:mhorwich@me.com>]
Sent: Monday, August 08, 2016 1:55 PM

To: Widmeier, Janelle A.
Cc: Peter Horwich
Subject: Re: Request for information on hearing regarding retaining wall located at 2101 Irving Ave South

Hi Janelle

Thank you for sharing the attached documents

A couple of city specific questions for you:

What expectations does the city have regarding closure of the alley?

- does the city allow for the alley to be closed off and if so for how long?
- since garbage pickup occurs in the alley what expectations does the city have regarding access to garbage trucks?

What expectations does the city have regarding existing trees? The current plan/topography does not show the existing mature tree that resides on my property next to the wall that will be rebuilt I would like to ensure it is not damaged or removed in the course of this work

Does the city have any guidelines for such projects so that I as an impacted neighbor can better understand what to expect from the city vs what to expect from the project team

I have sent communication to Jenni Steinberg requesting information regarding access and impact on our property. And will wait to hear. I hope to hear from her in advance of the public meeting. If I do not get follow up on my outstanding questions are these topics that can be raised at the public meeting?

Thanks again for your help
Marla Horwich

Sent from my iPad

On Aug 8, 2016, at 12:24 PM, Widmeier, Janelle A.
<Janelle.Widmeier@minneapolismn.gov> wrote:

Hi Marla,

The plans and project narrative are attached for reference. The plans were signed by an engineer. When I met with the applicants, it didn't sound like there would be significant impacts to surrounding properties during construction. The wall would be pretty much reconstructed in its current location, except outside of the public alley (it currently encroaches a little). Since your other questions are about impacts during construction, it would be best to contact the project contact Joe Ring (612-280-0927 or jhring92@gmail.com) .

Janelle Widmeier

Senior City Planner

City of Minneapolis – Community Planning and Economic Development

250 4th Street South – Room 300

Minneapolis, MN 55415

Office: 612-673-3156

janelle.widmeier@minneapolismn.gov

www.minneapolismn.gov/cped

From: marla Horwich [<mailto:mhorwich@me.com>]

Sent: Friday, August 05, 2016 11:36 AM

To: Widmeier, Janelle A.

Cc: Peter Horwich

Subject: Fwd: Request for information on hearing regarding retaining wall located at 2101 Irving Ave South

Hi Janelle -

I received your contact information from Lisa Kusz, per the email trail below

I am reaching out to get some information regarding the proposed work on the crumbling retaining wall owned by 2101 Irving Ave south

I am not looking to oppose the work - I am actually quite excited that work will finally be done to repair or replace this structure; what I am hoping is to learn more about the plans so that my husband and I (and our neighbors) can understand the impact to us and our property
Some questions

- have engineering plans been presented to ensure the new structure will be sound and will not negatively impact existing structures of the connecting or neighboring retaining walls and garages
- how the work will impact our home at 2105 Irving Ave south (since the existing wall is overlooking our property and currently crumbling into it we are trying to understand what to expect with the upcoming project)
- what access will be requested of our yard to complete the work
- what the impact will be on the alley and those alley neighbors (myself included) that are adjacent to the proposed project
- what impact if any on trash removal while the project is underway

Thanks in advance for your help. If there is someone else I should be reaching out to please let me know

Thank you

Marla Horwich

2105 Irving Ave south
612-875-0355

Sent from my iPhone

Begin forwarded message:

From: "Kusz, Lisa M." <Lisa.Kusz@minneapolismn.gov>
Date: August 4, 2016 at 9:51:57 AM CDT
To: marla Horwich <mhorwich@me.com>
Cc: "Weakly, Ruth A." <Ruth.Weakly@minneapolismn.gov>, "Weakly, Ruth A." <Ruth.Weakly@minneapolismn.gov>, Peter Horwich <pHorwich@me.com>
Subject: RE: Request for information on hearing regarding retaining wall located at 2101 Irving Ave South

Hello Marla.

I found out this morning that the planner for the project, Janelle Widmeier, just received the information for 2101 Irving Ave S last week and has prepared a public hearing notice for the August 25, 2016 Board of Adjustment meeting. These notices will be mailed out on August 10, 2016 which is 15 days before the public hearing.

You can contact Janelle directly at 612-673-3156.

The agenda and full staff report will be available [online](#) approximately one week before the public hearing.

I hope this helps.

Lisa

-----Original Message-----

From: marla Horwich [<mailto:mhorwich@me.com>]
Sent: Wednesday, August 03, 2016 5:15 PM
To: Kusz, Lisa M.
Cc: Weakly, Ruth A.; Weakly, Ruth A.; Peter Horwich; marla Horwich
Subject: Request for information on hearing regarding retaining wall located at 2101 Irving Ave South

Hi Lisa

I am writing to request some information regarding the

crumbling retaining wall at 2101 Irving Ave south

The retaining wall owned by 2101 Irving has been in disrepair for many years and the city has cited the owners numerous times; most recently in late June or early July of 2016

The current owner of 2101 commented to me earlier this week that the plans to repair/replace the wall had been tentatively approved by the city; and that a hearing to finalize plans was scheduled for next week. I was also informed that as a resident within 350 feet of the project we would be notified by the city of the hearing

As of today, August 3, 2016, we have not received any information. Since the retaining wall directly impacts our yard and will require access by us to repair we are anxious to receive an update so we can understand what impact the project will have on us and what the timeline for the project will be

I am hoping that you can provide us more specific information regarding when the hearing will be and if as a resident we can attend.

Thanks in advance for your help.

Marla Horwich
2105 Irving Ave South
612-875-0355

Sent from my iPhone

<plans and narrative.pdf>