



CPED STAFF REPORT

Prepared for the Zoning Board of Adjustment
BOA Agenda Item #1
September 15, 2016
BZZ-7855

LAND USE APPLICATION SUMMARY

Property Location: 412-420 West Broadway
Project Name: Kemps Signage
Prepared By: [Janelle Widmeier](#), Senior City Planner, (612) 673-3156
Applicant: Kemps
Project Contact: Dave Peltier, Lawrence Sign
Request: To allow signage for a food and beverage manufacturing use.
Required Applications:

Variance	To increase the maximum height of a wall sign from 28 feet to 81 feet.
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SITE DATA

Existing Zoning	II Light Industrial District IL Industrial Living Overlay District WB West Broadway Overlay District
Lot Area	134,213 square feet (3.1 acres)
Ward(s)	5
Neighborhood(s)	Hawthorne Neighborhood Council (adjacent to NRRC)
Designated Future Land Use	Mixed Use
Land Use Features	Commercial Corridor (West Broadway)
Small Area Plan(s)	West Broadway Alive! (2008)

Date Application Deemed Complete	August 15, 2016	Date Extension Letter Sent	Not applicable
End of 60-Day Decision Period	October 14, 2016	End of 120-Day Decision Period	Not applicable

BACKGROUND

SITE DESCRIPTION AND PRESENT USE. A food and beverage manufacturing facility for Kemps is located on the subject site. The site is over one City block in size.

SURROUNDING PROPERTIES AND NEIGHBORHOOD. The surrounding properties include a mix of uses, including retail, restaurants, residential, and institutional uses. One block east of the subject site, Kemps also has a parking facility.

PROJECT DESCRIPTION. Kemps is proposing to install signage on the east side of a silo located near the center of the property of 420 West Broadway. The 57 square foot, nonilluminated wall sign would be located 81 feet above the adjacent grade. In the II district, the maximum allowed height of a wall sign is 28 feet. Therefore, a variance is required to increase the maximum allowed height.

PUBLIC COMMENTS. As of writing this report, no correspondence from the neighborhood group has been received. Any correspondence received prior to the public meeting will be forwarded on to the Board of Adjustment for consideration.

ANALYSIS

VARIANCE

The Department of Community Planning and Economic Development has analyzed the application for a variance to increase the maximum height of a wall sign from 28 feet to 81 feet based on the following findings:

1. *Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

Practical difficulties exist in complying with the ordinance due to circumstances unique to the property. The proposed sign would be located on a silo for a large food manufacturing facility located in a mixed commercial area. The silo is integral to the use of the property. It is also in close proximity to and is visible from three primary thoroughfares, I-94, Washington Avenue North and West Broadway. Wall signs located 28 feet above grade would, at most, only have visibility from West Broadway. The zoning code allows a height exception for wall signs on larger buildings, recognizing that certain buildings may have unique identification needs. However, the building height must exceed 6 stories, 84 feet to qualify for the exception. The top of the silo is 84 feet above the adjacent grade.

2. *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

Regulations governing on-premise signs are established to allow effective signage appropriate to the planned character of each zoning district, to promote an attractive environment by minimizing visual clutter and confusion, to minimize adverse effects on nearby property, and to protect the public health, safety and welfare. The II Light Industrial District is established to provide clean, attractive locations for low impact and technology-based light industrial uses, research and development, and similar uses which produce little or no noise, odor, vibration, glare or other objectionable influences, and have little or no adverse effect on surrounding properties. The adopted small area plan encourages signage for commercial businesses.

The proposed sign would be located on a silo for a large food manufacturing facility located in a mixed use commercial area. The silo is in close proximity to and is visible from I-94, Washington Avenue North, and West Broadway. Wall signs located 28 feet above grade would have reduced visibility from these primary thoroughfares due to surrounding development. The sign would not face any nearby residential properties and would not be illuminated to minimize the potential for adverse impacts to the surrounding properties. Given the size and location of the silo and proposed orientation of the sign, the request is reasonable and in keeping with the spirit and intent of the ordinance and comprehensive plan.

3. *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

Granting the variance would have little effect on the surrounding area and would not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties. The site is located in a large commercial area with a mix of uses. It is also in close proximity to and is visible from I-94, Washington Avenue North, and West Broadway. The nonilluminated sign would not face any nearby residential properties. The amount of separation between the proposed sign locations and the surrounding properties would minimize the potential for adverse impacts to the surrounding properties.

Additional Standards for Sign Adjustments

In addition, the Planning Commission shall consider, but not be limited to, the following factors when considering an adjustment to the number, type, height, area, or location of allowed signs on property located in an OR2 or OR3 District or a commercial, downtown, or industrial district:

1. *The sign adjustment will not significantly increase or lead to sign clutter in the area or result in a sign that is inconsistent with the purpose of the zoning district in which the property is located.*

The II Light Industrial District is established to provide clean, attractive locations for low impact and technology-based light industrial uses, research and development, and similar uses which produce little or no noise, odor, vibration, glare or other objectionable influences, and have little or no adverse effect on surrounding properties.

The request is to increase the maximum allowed height of wall signage. The sign would comply with all other applicable requirements. No other building signs are proposed at this time. There is one existing sign on the 3 acre site. The existing sign is a 178 square foot wall sign facing West Broadway. Because of the size of the building and the site, granting the variance would not lead to sign clutter in the area or result in a sign that is inconsistent with the II district.

2. *The sign adjustment will allow a sign that relates in size, shape, materials, color, illumination and character to the function and architectural character of the building or property on which the sign will be located.*

The sign would relate in size, shape, material, color, illumination and character of the building and the property. A sign graphic would be applied to the silo. It would be nonilluminated. The sign would be compatible with the industrial character of the property.

RECOMMENDATIONS

The Department of Community Planning and Economic Development recommends that the Zoning Board of Adjustment adopt staff findings for the application by Kemps for the property located at 412-420 West Broadway:

A. Variance to increase the maximum height of a wall sign.

Recommended motion: **Approve** the variance to increase the maximum height of a wall sign from 28 feet to 81 feet, subject to the following conditions:

- I. Approval of the sign permit by the Department of Community Planning and Economic Development.

ATTACHMENTS

1. Zoning map
2. Written description and findings submitted by applicant
3. Site plan
4. Sign plans
5. Views from I-94, Washington Avenue North, and West Broadway



July 21, 2016

To Whom it may concern:

On behalf of Kemps Dairy, Lawrence Sign is seeking a variance for a non-illuminated sign to be installed on a silo in the center of the Kemps property located at 420 West Broadway Avenue.

The position of the silo at the middle of the Kemps property necessitates a high placement of the new sign. The non-illuminated sign would serve to enhance an existing structure along with increasing market awareness of this business through additional visibility of the Kemps logo. Design of the proposed sign is harmonious with other Kemps graphics and structures on the property and will not visually clutter this location or detract from the appearance of the neighborhood. When installed, the new sign will not interfere with public safety or enjoyment of surrounding properties. Please see the enclosed renderings for details of the proposed sign and a representation of how the installed sign will appear.

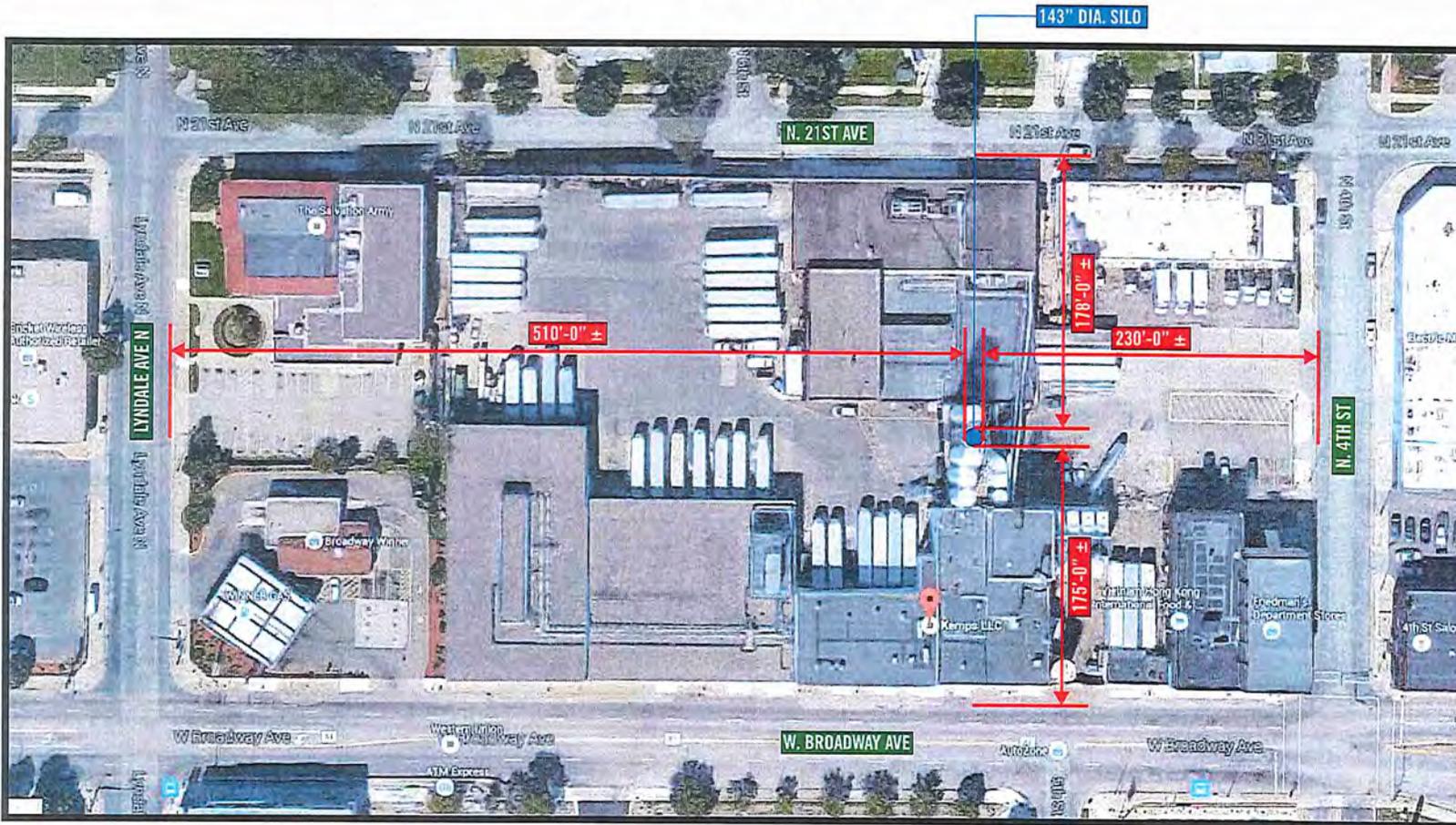
Please feel free to call or email with any questions about this proposed sign project. 651-488-6711 or aweitzel@lawrencesign.com

Thank you for your attention.

Sincerely yours,

Adrienne Weitzel
Office Manager, Lawrence Sign

SITE MAP - KEMPS



420 WEST BROADWAY AVE
MINNEAPOLIS, MN 55411

SITE MAP

CUSTOMER APPROVAL

NAME: _____

DATE: _____

REV1 _____

REV2 _____

REV3 _____

REV4 _____

REV5 _____

REV6 _____

REV7 _____

REV8 _____

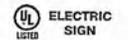
SALES: DP PR:

DESIGN: RR

DATE: 06.01.16

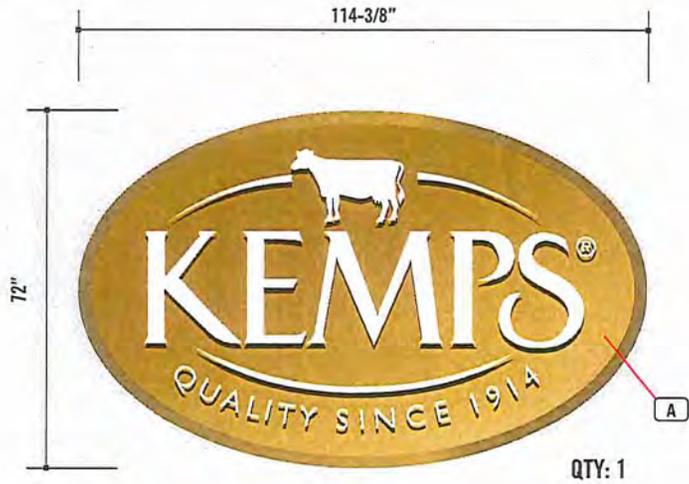
DWG: 9339-03

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MINNEAPOLIS - MN

SQUARE FOOTAGE: 57.19



1 SILO GRAPHIC LAYOUT

SCALE: 1/2"=1'-0"



PROPOSED CONDITIONS

DESCRIPTION

- A** — DIGITALLY PRINTED GRAPHIC
- OPAQUE DIGITALLY PRINTED GRAPHIC
- APPLIED TO SILO, TUCKED BEHIND EXISTING PIPES

FINISH SCHEDULE

- V1** DIGITALLY PRINTED WALL GRAPHIC

Lawrence Sign

www.lawrencesign.com

945 Pierce Butler Route, St. Paul, MN 55104
651.488.6711 • 800.998.8901



420 WEST BROADWAY AVE
MINNEAPOLIS, MN 55411

DIGITALLY PRINTED GRAPHIC

CUSTOMER APPROVAL

NAME: _____

DATE: _____

REV1 _____

REV2 _____

REV3 _____

REV4 _____

REV5 _____

REV6 _____

REV7 _____

REV8 _____

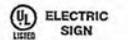
SALES: DP PR:

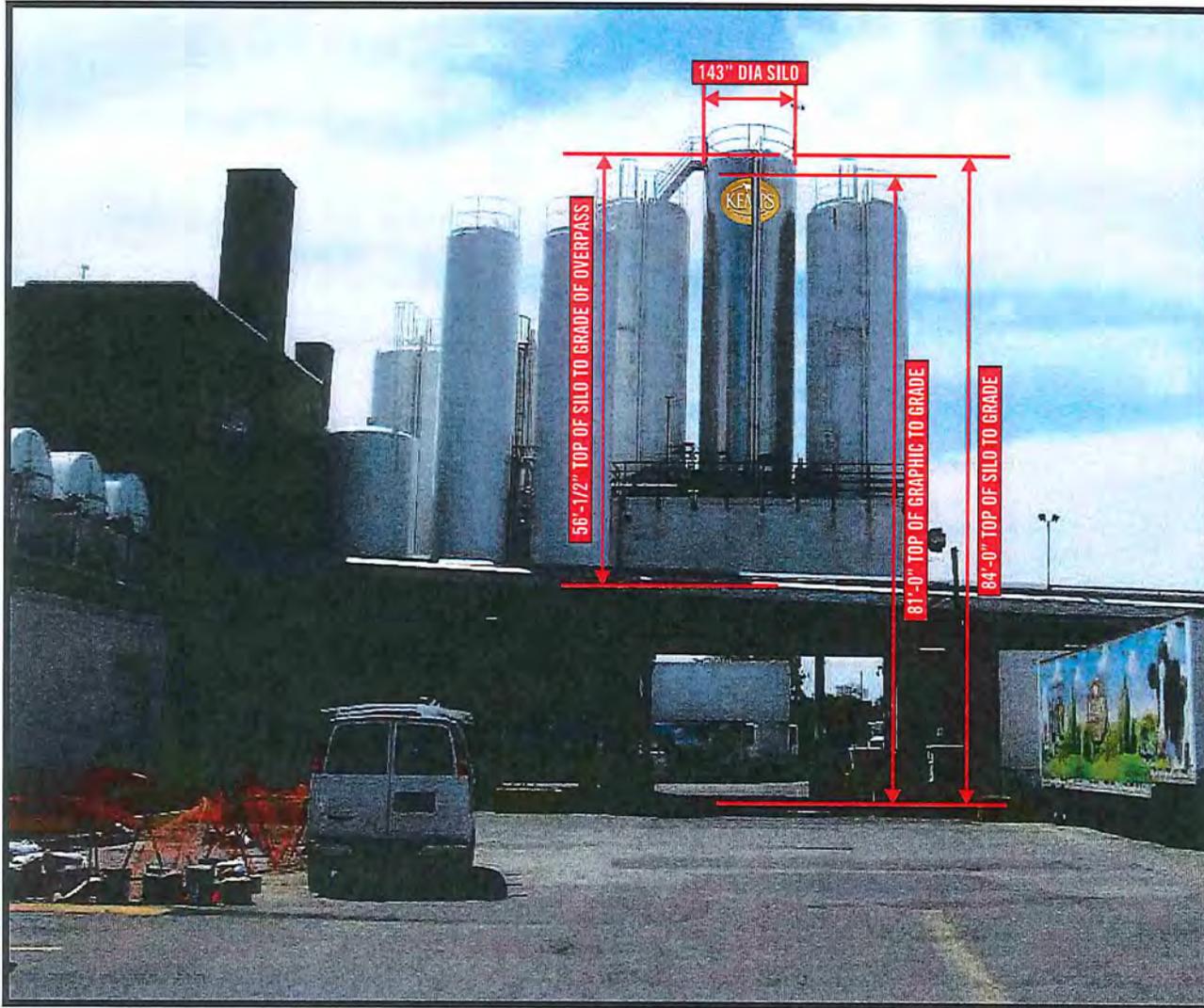
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420 WEST BROADWAY AVE
MINNEAPOLIS, MN 55411

**DIGITALLY PRINTED
GRAPHIC**

CUSTOMER APPROVAL

NAME: _____

DATE: _____

REV1 _____

REV2 _____

REV3 _____

REV4 _____

REV5 _____

REV6 _____

REV7 _____

REV8 _____

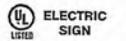
SALES: DP PR:

DESIGN: RR

DATE: 06.01.16

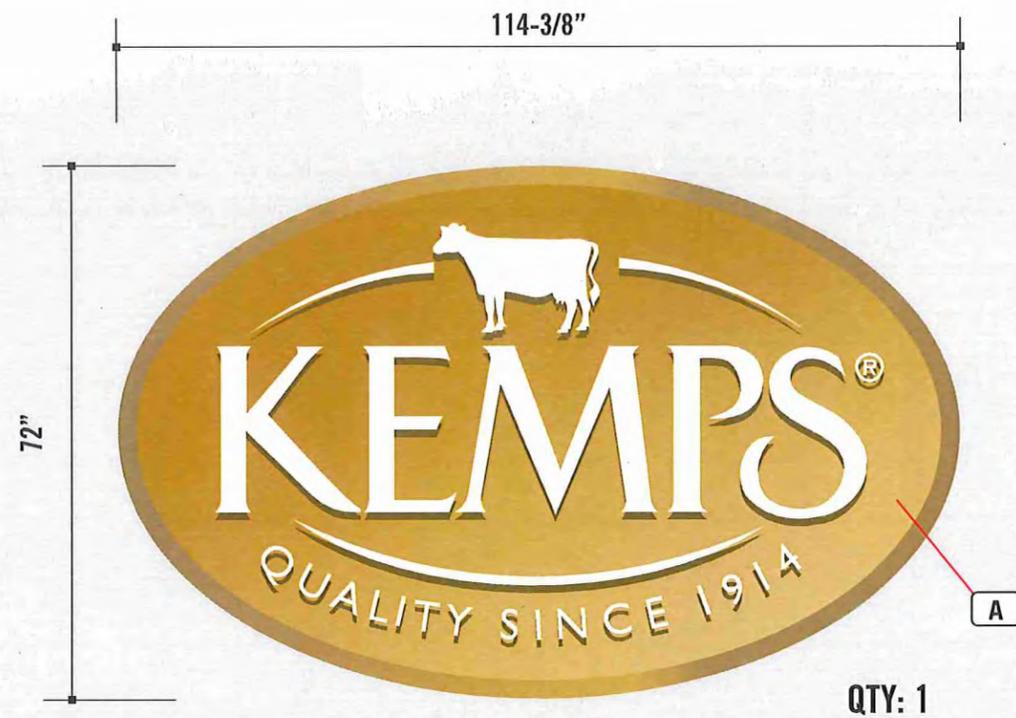
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SQUARE FOOTAGE: 57.19



1 SILO GRAPHIC LAYOUT

SCALE: 1/2"=1'-0"



PROPOSED CONDITIONS

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- A DIGITALLY PRINTED GRAPHIC
- OPAQUE DIGITALLY PRINTED GRAPHIC
- APPLIED TO SILO, TUCKED BEHIND EXISTING PIPES

FINISH SCHEDULE

- V1  DIGITALLY PRINTED WALL GRAPHIC

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DESIGN: RR

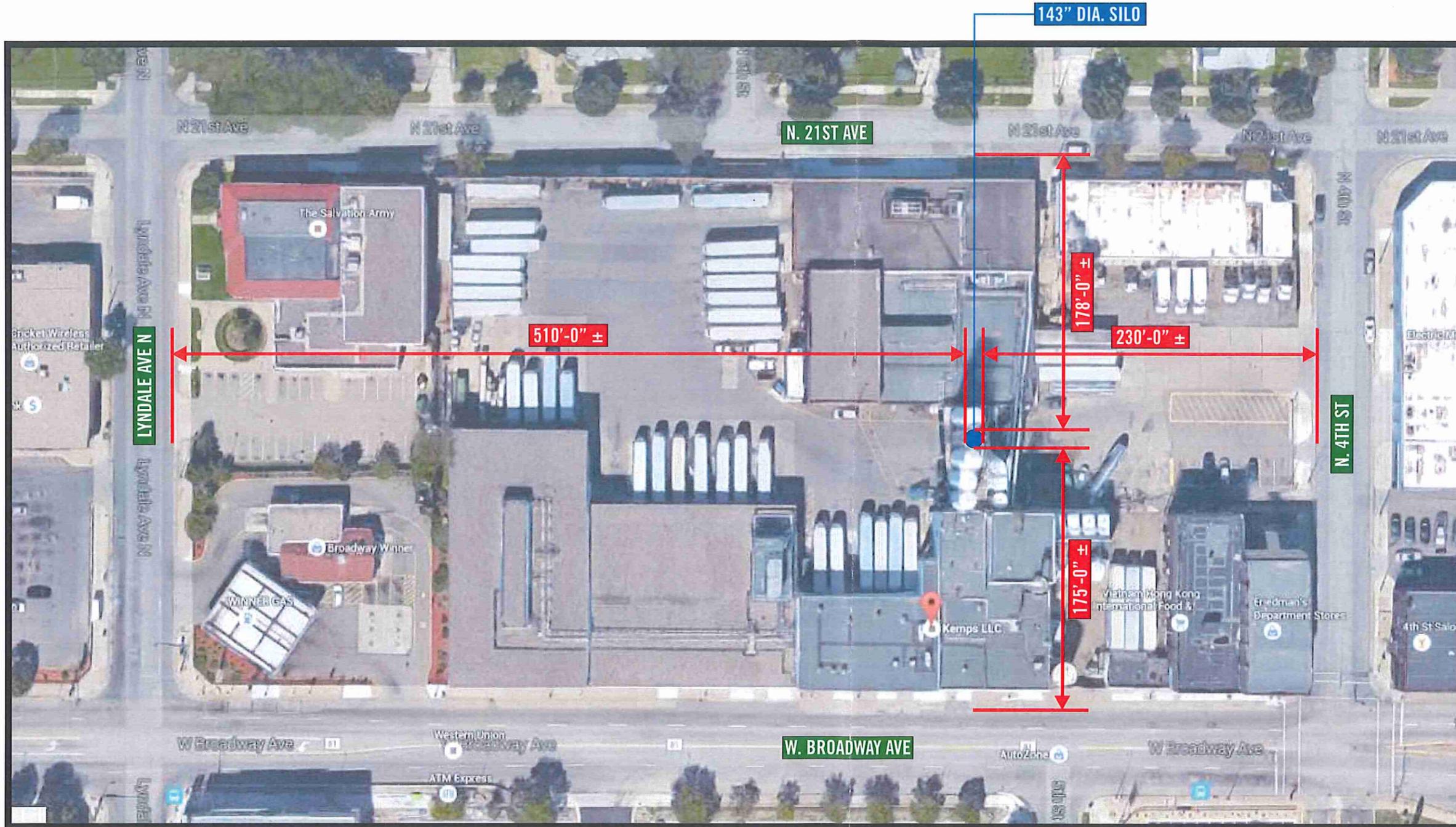
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SITE MAP - KEMPS



420 WEST BROADWAY AVE
MINNEAPOLIS, MN 55411

SITE MAP

CUSTOMER APPROVAL

NAME: _____

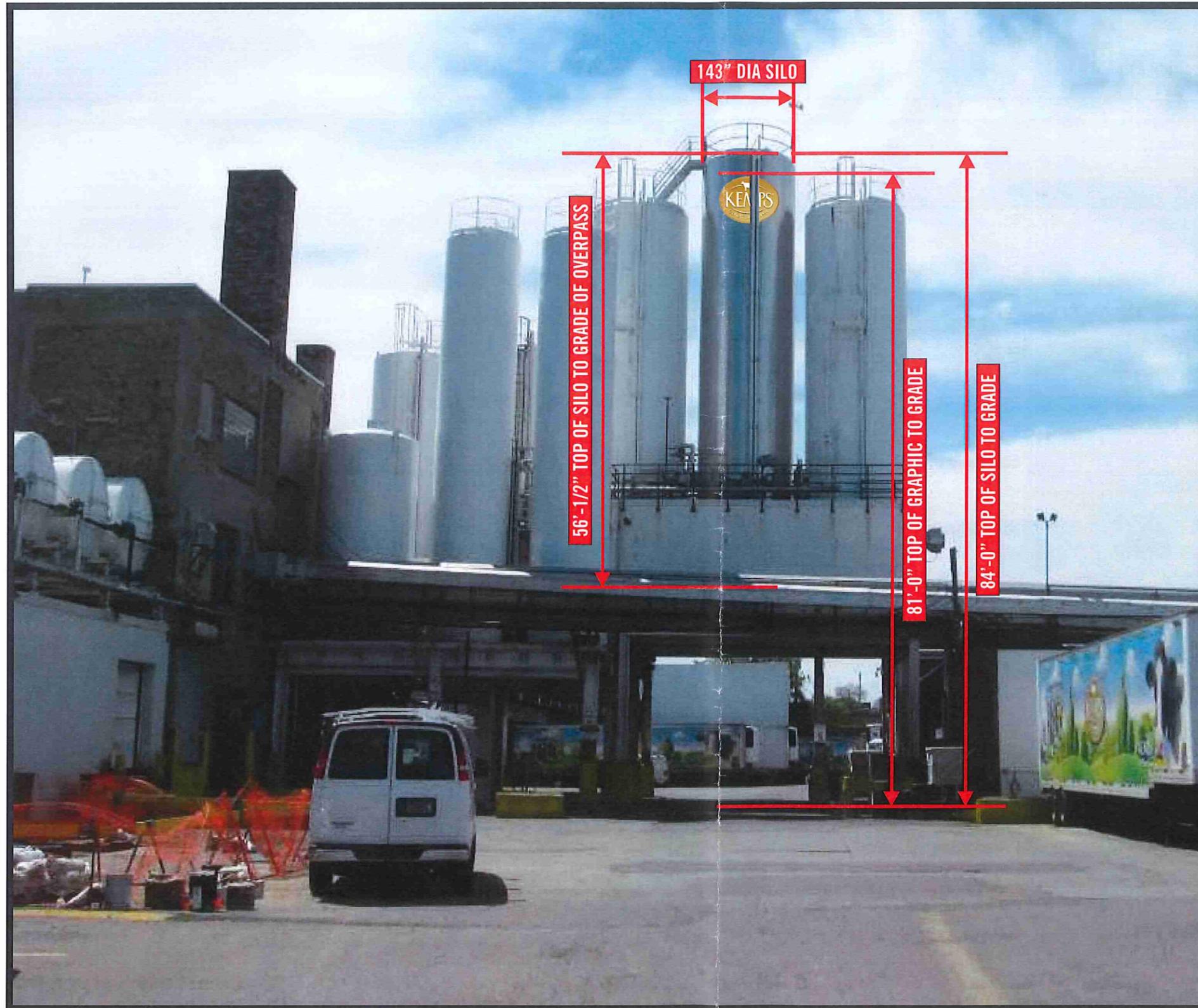
DATE: _____

- REV1 _____
- REV2 _____
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- REV4 _____
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- REV6 _____
- REV7 _____
- REV8 _____

SALES: DP PR: _____
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420 WEST BROADWAY AVE
MINNEAPOLIS, MN 55411

DIGITALLY PRINTED
GRAPHIC

CUSTOMER APPROVAL

NAME: _____

DATE: _____

- REV1 _____
- REV2 _____
- REV3 _____
- REV4 _____
- REV5 _____
- REV6 _____
- REV7 _____
- REV8 _____

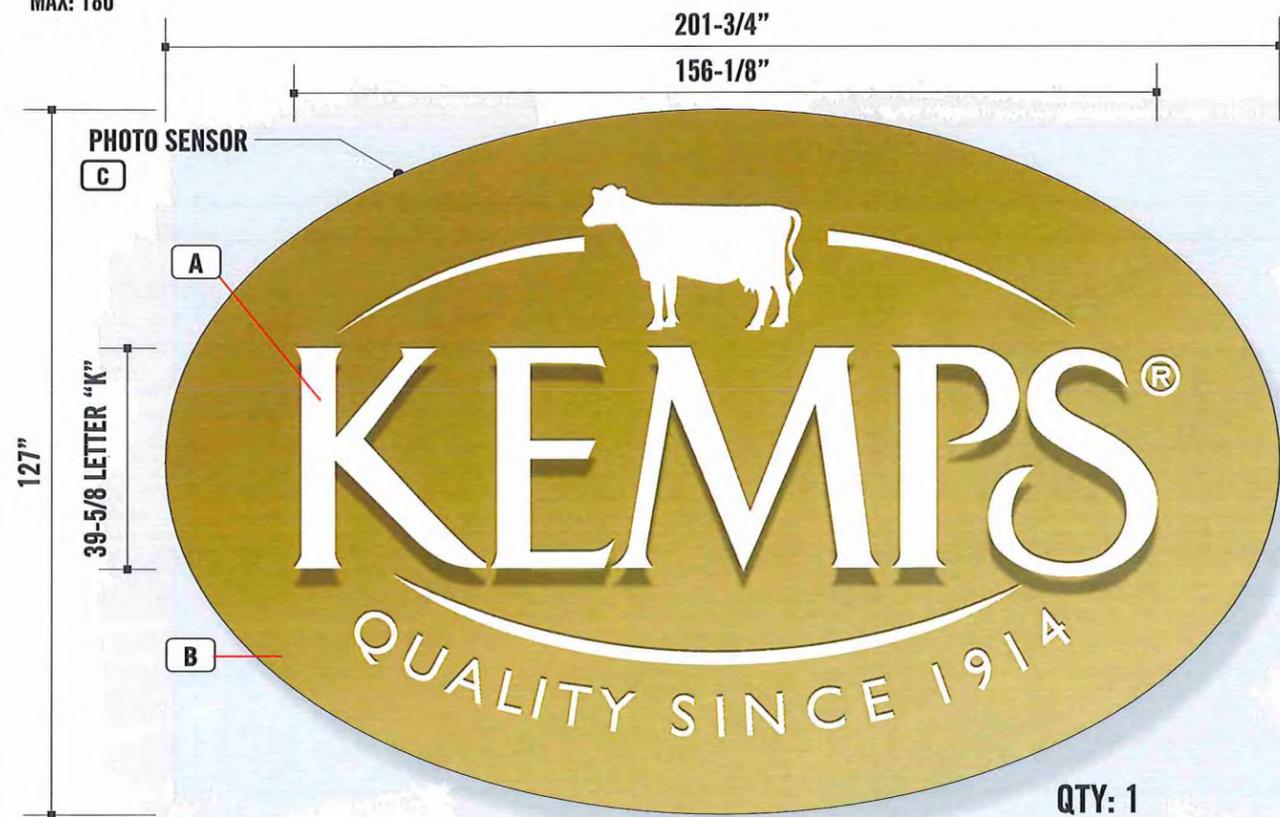
SALES: DP PR:
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DWG: 9339-03

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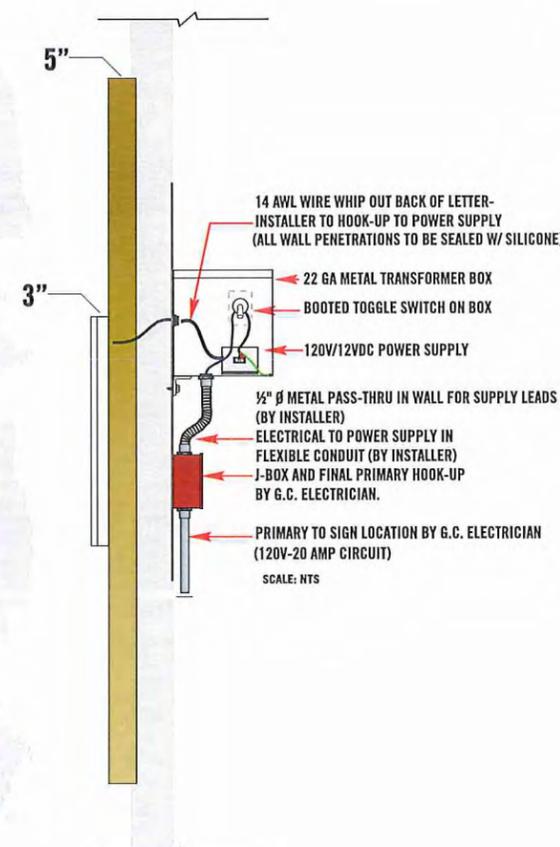


MINNEAPOLIS - MN

SQUARE FOOTAGE: 177.93
MAX: 180



1 LETTERSET AND GRAPHIC LAYOUT
SCALE: 3/8"=1'-0"



DESCRIPTION

- A** — FACE LIT LETTERSET
 - 3" DEEP WHITE RETURNS
 - 1" WHITE TRIM CAP
 - WHITE LED ILLUMINATION
 - MOUNTED FLUSH TO PAN
 - 7328 WHITE ACRYLIC FACES
- B** — ALUMINUM PAN
 - 5" DEEP ALUMINUM PAN
 - PAINTED CUSTOM CLIENT COLORS
 - ROUTED ALUMINUM FACE BACKED UP WITH 7328 WHITE ACRYLIC
 - WHITE V180 ILLUMINATION
 - MOUNTED FLUSH TO WALL
- C** — PHOTO SENSOR
 - PHOTO EYE INSTALLED IN SIDE OF PAN

ELECTRICAL SPECS
- 5 AMPS / 120V

FINISH SCHEDULE

- P1** MATTHEWS WHITE PAINT
- P2** MP 20504 SATURN GOLD METALLIC



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**FACE LIT LETTERS
ON ALUMINUM PAN**
PRODUCTION READY

CUSTOMER APPROVAL

NAME: _____

DATE: _____

- REV1 061616 JJ
- REV2 _____
- REV3 _____
- REV4 _____
- REV5 _____
- REV6 _____
- REV7 _____
- REV8 _____

SALES: DP PR: 07.26.16 RR
DESIGN: RR
DATE: 06.01.16
DWG: 9339

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PROPOSED CONDITIONS



ABSOLUTE DARK CONDITIONS



Washington Ave N and W Broadway





