



LAND USE APPLICATION SUMMARY

Property Location: 4452 41st Ave S
Project Name: New single-family home
Prepared By: Alyssa Brandt, City Planner, (612) 673-5877
Applicant: Inspire Architects
Project Contact: Jeff Hafferman
Request: To construct a single-family home
Required Applications:

Variance	<ul style="list-style-type: none"> To reduce the front yard setback on a reverse corner lot from 20 feet to 16 feet along 45th St E.
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SITE DATA

Existing Zoning	RIA Single-Family District
Lot Area	6,549
Ward(s)	12
Neighborhood(s)	Hiawatha
Designated Future Land Use	Urban Neighborhood
Land Use Features	Not applicable
Small Area Plan(s)	Not applicable

Date Application Deemed Complete	August 18, 2015	Date Extension Letter Sent	NA
End of 60-Day Decision Period	October 19, 2015	End of 120-Day Decision Period	NA

BACKGROUND

SITE DESCRIPTION AND PRESENT USE. The subject property, 4452 41st Ave S, is a 6,549 square foot lot located at the northwest corner of 41st Ave S and 45th St E in the Hiawatha neighborhood of Minneapolis. A 1.5-story single-family home, constructed in 1921, currently occupies the lot. The property was initially built with a 20x20 detached garage, which was replaced with a 24x24 detached garage in 1982. This garage is accessed off of 45th St since no alley access exists for this property. The applicant is proposing to keep the existing garage as part of this project. The existing house is set back 23.1 feet from the right of way along 41st Ave S and 11.5 feet from the right of way along 45th St E.

The grade of the site is relatively flat, with an elevation change of less than a foot along the 131 foot depth of the lot. This is a grade of roughly 0.8%.

SURROUNDING PROPERTIES AND NEIGHBORHOOD. The subject property is located in the R1A Single-Family Zoning District. Other properties in the vicinity contain primarily single-family homes, but a number of different zoning districts surround the subject property. Many of the nearby parcels are also zoned R1A, but some are R2B Two Family District, with some C1 Neighborhood Commercial District and R5 Multiple Family District.

The adjacent property to the west, 4018 45th St E, is platted towards 45th St, while the property to the north, 4448 41st Ave S is platted towards 41st Ave. This results in the subject property having a front yard setback along both lot lines which face the public right of way.

PROJECT DESCRIPTION. The applicant proposes to construct a two-story single-family home and to keep the existing detached garage.

The proposed home would have a height of 26 feet and a gross floor area of approximately 2,269 square feet, resulting in a floor area ratio of 0.35. The home will not exceed the maximum amount of impervious surfaces (proposed 40% impervious surface coverage, maximum is 60%) or the maximum amount of lot covered by structures (proposed 26% structure coverage, maximum is 45%).

Because the property is classified as a reverse corner lot, a front yard setback equal to the greater of 20 feet or the established front yard setback of the adjacent property to the rear must be observed along the corner side lot line. The front façade of the proposed home would be in line with the adjacent home to the north. The proposed home would be located approximately 16 feet from the corner side property line along 45th St E. This would be closer to the property line than the minimum front yard setback in the R1A district. Therefore, the applicant has requested a variance to reduce the required front yard setback along 45th St E from 20 feet to 16 feet, measured to the structure.

Besides the requested variances, the home will comply with all other aspects of the zoning code. The home will be subject to administrative site plan review. The applicant will be required to provide additional materials in order to ensure that the home meets the minimum 17 urban design points.

PUBLIC COMMENTS. At the time of writing this report, no correspondence has been received from the neighborhood group, council office, or other interested parties. Any correspondence received prior to the hearing will be forwarded to the Board of Adjustment for consideration.

ANALYSIS

YARD VARIANCE

The Department of Community Planning and Economic Development has analyzed the application for a variance of the RIA Single-Family District yard requirements based on the following findings:

1. *Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

The need for a variance to build a new home on this property is created by the orientation of the adjacent homes. Lots to the west were oriented towards 40th Ave S rather than 45th St E the required setback for the corner side would be 8 feet, instead of the required 20 feet. Reverse corner lots are uncommon in the City and can be considered a unique circumstance.

The home to the west was built in 1919 and the home to the north in 1910. The unique circumstances of the lot platting were already in place when these homes were developed and were not created by persons presently having an interest in the property.

2. *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

The proposed use of the property is a single-family dwelling with a detached garage. Single-family dwellings are a permitted use in the RIA zoning district and are the predominant land use in the surrounding area. Besides the requested variances, the proposed home will comply with all applicable provisions of the zoning code.

The future land use map identifies the property as Urban Neighborhood, which calls for predominantly residential development with intensity dependent upon proximity to identified nodes and corridors. The subject property is not located in close proximity to either of these land use features, so low-density residential development is appropriate at this location.

3. *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

Required yards and uniform building setbacks are intended to encourage a consistent pattern of development that creates a sense of visual order when experienced from the public realm. Required setbacks also prevent development that could be obtrusive to neighboring properties.

The location of the proposed home, though closer to the reverse corner lot line than the district minimum setback, would be located a significant distance from the public sidewalk. The location of the south wall of the proposed home would be 16 feet from the property line along 41st St E, which is 4.5 feet farther from the property than the existing home. The effect on the home to the west will not only be reduced compared to existing conditions, but is well screened by the placement of the garage on the subject property and the garage on the adjacent property. Since the garage on the subject property is not proposed to change, it will continue to act as a screen between the homes. The proposed home will be 90 feet from the adjacent home at its closest point. This is the same distance as the existing home.

RECOMMENDATIONS

The Department of Community Planning and Economic Development recommends that the Zoning Board of Adjustment adopt staff findings for the application by Jeff Hafferman for the property located at 4452 41st Ave S:

A. Variance of the required front yard setback.

Recommended motion: **Approve** the application to reduce the required corner side yard setback on a reverse corner lot along 45th St E from 20 feet to 16 feet, measured to the structure, subject to the following conditions:

1. Approval of the final site, elevation, and floor plans by the Department of Community Planning and Economic Development;
2. All site improvements shall be completed by September 15, 2018, unless extended by the Zoning Administrator, or the permit may be revoked for non-compliance.

ATTACHMENTS

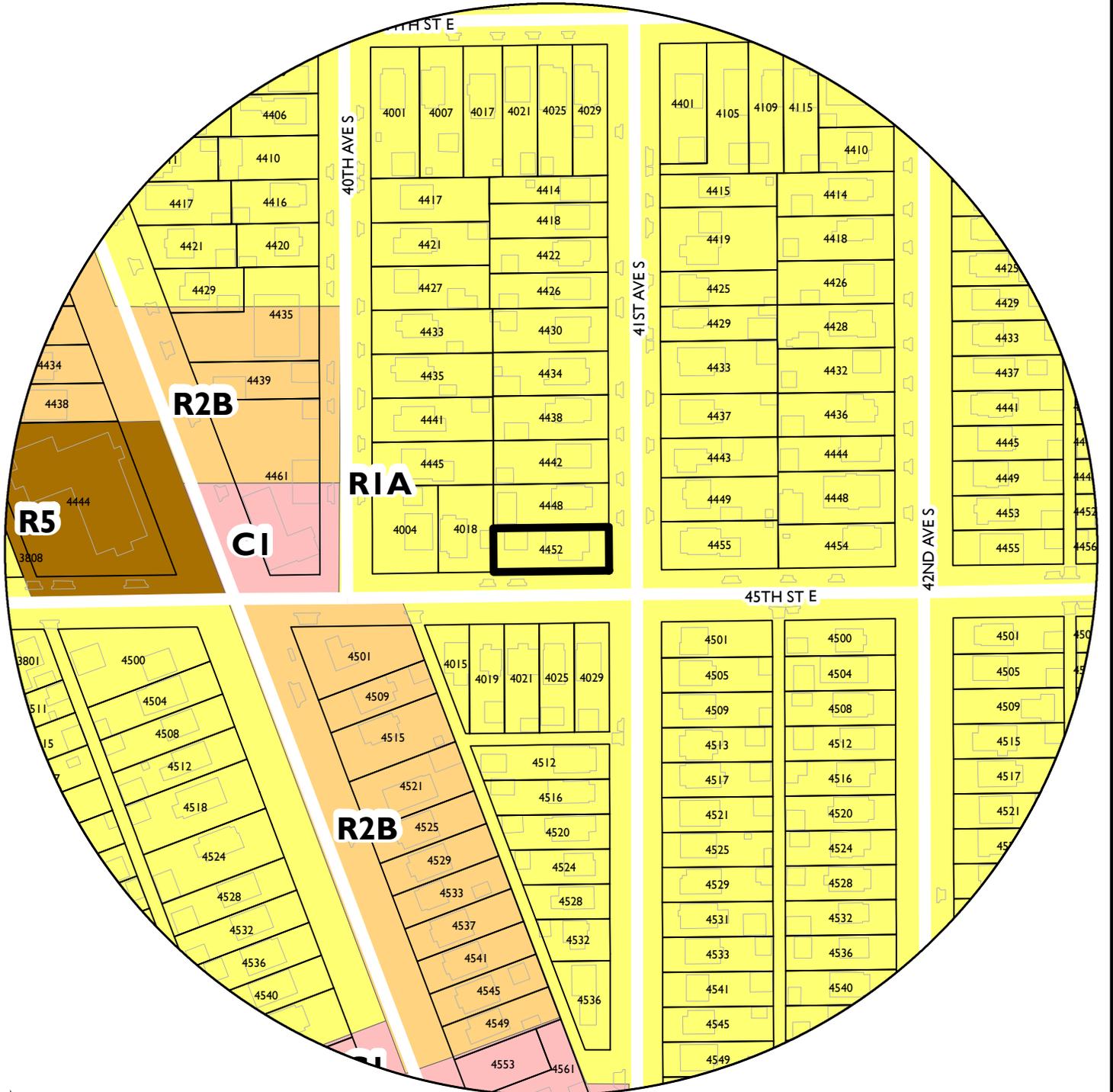
1. Zoning Map
2. Description of project and variance findings by applicant
3. Existing conditions land survey
4. Site plan
5. House plans
6. Photos of site
7. Property owner authorization letter
8. Letters to neighborhood group and council office

Jeff Hafferman

12th

NAME OF APPLICANT

WARD



PROPERTY ADDRESS
4452 41st Ave S

FILE NUMBER
BZZ-7820

Statement of Proposed Use and Description of the Project:

The owner of 4452 41st Avenue S Minneapolis, MN is looking to build a new house on the property. The proposed new house is a 4 bedroom, 3 bath traditional craftsman style, two story, and single family residence. The existing detached garage would remain but modified to match the new house.

Variance Description:

- (1) Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations along.
 - (A) The property of 4452 41st Avenue S Minneapolis, MN is considered a ‘reverse corner lot’ and requires a 20’-0” setback on both street sides. This limits the buildable area to be a 24’-0” wide house on the side yard facing the street. The proposed new house is 28’-0” which is a standard size house common to Minneapolis’s 40’-0” wide lots. The circumstances were created by the 2 properties behind the described property created many years prior to this property owner’s purchase.
 - (2) The property owner or authorized applicant proposes to use the property in a reasonable manner that will be keeping with the spirit and intent of the ordinance and the comprehensive plan.
 - (A) The proposed new house remains a single family residence with a detached garage meeting all other ordinances and within the city’s comprehensive plan. The design is a traditional 2 story craftsman style which fits within the neighborhood as shown with the renderings and existing neighborhood photos provided.
 - (3) The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.
 - (A) The proposed new house is 16’-0” off the side street allowing a relatively large side yard/ lawn. The current house has a setback of 11’-8” as shown on the survey, therefore the proposed would actually grant more width.

Prepared by:
Jeffrey R Hafferman AIA NCARB, Owner,
InSpire Architects
763-807-1044
Jeff@ArchitectMN.com

LEGAL DESCRIPTION:

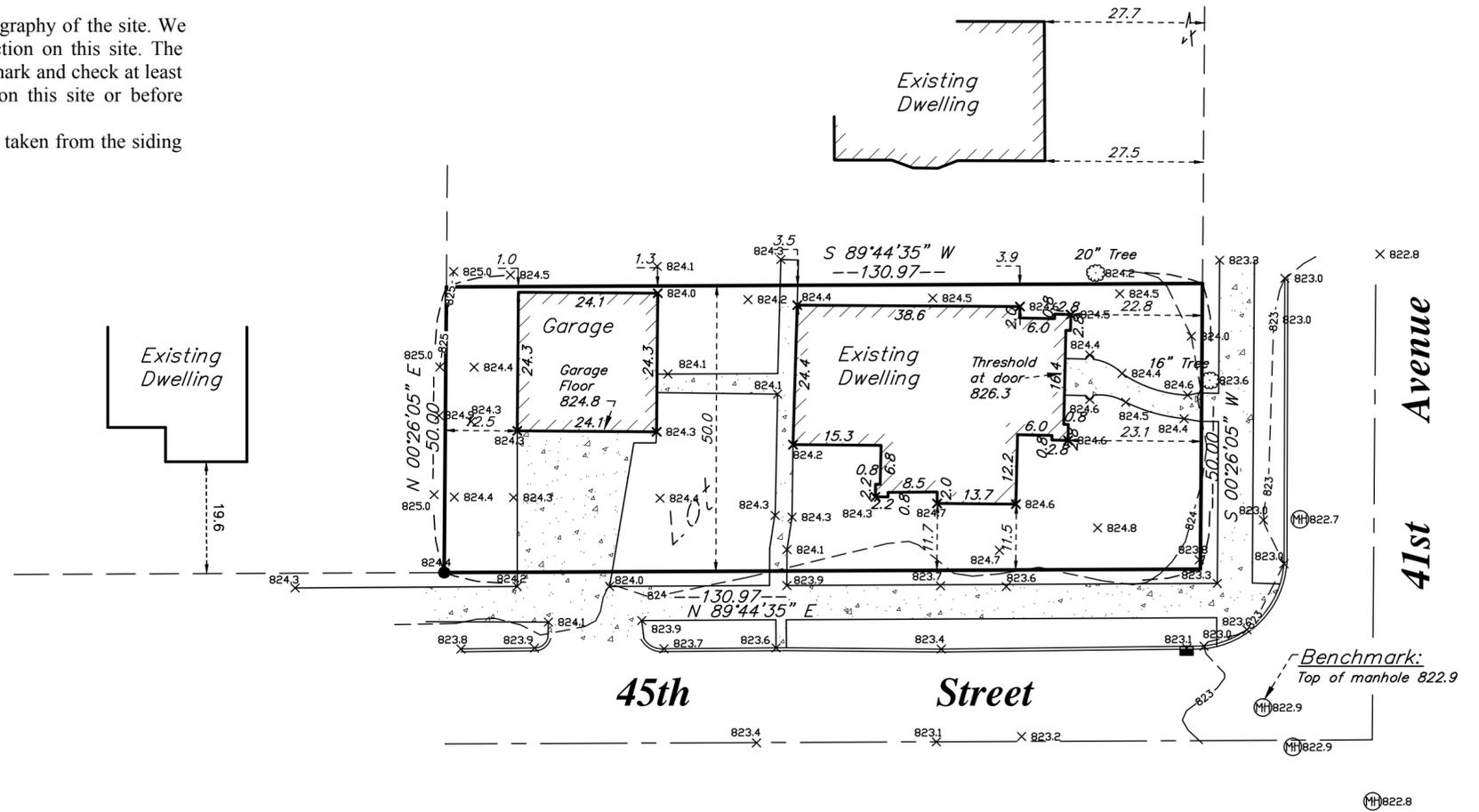
The south 50 feet of Lot 4, ARCADIA SECOND ADDITION, Hennepin County, Minnesota.

SCOPE OF WORK & LIMITATIONS:

1. Showing the length and direction of boundary lines of the legal description listed above. The scope of our services does not include determining what you own, which is a legal matter. Please check the legal description with your records or consult with competent legal counsel, if necessary, to make sure that it is correct and that any matters of record, such as easements, that you wish to be included on the survey have been shown.
2. Showing the location of observed existing improvements we deem necessary for the survey.
3. Setting survey markers or verifying existing survey markers to establish the corners of the property.
4. Showing and tabulating impervious surface coverage of the lot for your review and for the review of such governmental agencies that may have jurisdiction over these requirements to verify they are correctly shown before proceeding with construction.
5. Showing elevations on the site at selected locations to give some indication of the topography of the site. We have also provided a benchmark for your use in determining elevations for construction on this site. The elevations shown relate only to the benchmark provided on this survey. Use that benchmark and check at least one other feature shown on the survey when determining other elevations for use on this site or before beginning construction.
6. Note that all building dimensions and building tie dimensions to the property lines, are taken from the siding and or stucco of the building.

STANDARD SYMBOLS & CONVENTIONS:

"●" Denotes iron survey marker, set, unless otherwise noted.

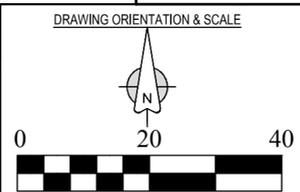


LEGEND

- = CATCH BASIN
- = FIRE HYDRANT
- = POWER POLE
- = MANHOLE
- = TELEPHONE PED.
- = ELEC. TRANSFORMER
- = WELL
- = GATE VALVE
- = LIGHT POLE
- = FENCE LINE
- = SANITARY SEWER LINE
- = WATER LINE
- = GAS LINE
- = STORM DRAIN LINE
- = OVERHEAD UTILITY LINE
- = CONCRETE SURFACE

EXISTING HARDCOVER	
House	1,339 Sq. Ft.
Garage	586 Sq. Ft.
Concrete Surfaces	804 Sq. Ft.
TOTAL EXISTING HARDCOVER	2,729 Sq. Ft.
AREA OF LOT	6,549 Sq. Ft.
PERCENTAGE OF HARDCOVER TO LOT	41.7%

DATE	REVISION DESCRIPTION



CLIENT NAME / JOB ADDRESS

JASON MACDONALD

4452 41ST AVE S.
MINNEAPOLIS, MN

Advance
Surveying & Engineering, Co.

5300 South Hwy. No 101
Minnetonka, Minnesota 55345
Phone (952) 474-7964
Web: www.advsur.com

I HEREBY CERTIFY THAT THIS PLAN, SURVEY OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MINNESOTA.

Thomas M. Bloom
42379
LICENSE NO.
JUNE 29, 2016
DATE

DATE SURVEYED: JUNE 29, 2016

DATE DRAFTED: JUNE 29, 2016

SHEET TITLE
EXISTING CONDITIONS SURVEY

DRAWING NUMBER
160495 TB

SHEET NO.
S1

SHEET 1 OF 1

LEGAL DESCRIPTION:

The south 50 feet of Lot 4, ARCADIA SECOND ADDITION, Hennepin County, Minnesota.

SCOPE OF WORK & LIMITATIONS:

- Showing the length and direction of boundary lines of the legal description listed above. The scope of our services does not include determining what you own, which is a legal matter. Please check the legal description with your records or consult with competent legal counsel, if necessary, to make sure that it is correct and that any matters of record, such as easements, that you wish to be included on the survey have been shown.
- Showing the location of observed existing improvements we deem necessary for the survey.
- Setting survey markers or verifying existing survey markers to establish the corners of the property.
- Showing and tabulating impervious surface coverage of the lot for your review and for the review of such governmental agencies that may have jurisdiction over these requirements to verify they are correctly shown before proceeding with construction.
- Showing elevations on the site at selected locations to give some indication of the topography of the site. We have also provided a benchmark for your use in determining elevations for construction on this site. The elevations shown relate only to the benchmark provided on this survey. Use that benchmark and check at least one other feature shown on the survey when determining other elevations for use on this site or before beginning construction.
- Note that all building dimensions and building tie dimensions to the property lines, are taken from the siding and or stucco of the building.
- While we show a proposed location for this home or addition, we are not as familiar with your proposed plans as you, your architect, or the builder are. Review our proposed location of the improvements and proposed yard grades carefully to verify that they match your plans before construction begins. Also, we are not as familiar with local codes and minimum requirements as the local building and zoning officials in this community are. Be sure to show this survey to said officials, or any other officials that may have jurisdiction over the proposed improvements and obtain their approvals before beginning construction or planning improvements to the property.
- While we show the building setback lines per the City of Minneapolis web site, we suggest you show this survey to the appropriate city officials to be sure that the setback lines are shown correctly. Do this BEFORE you use this survey to design anything for this site.

STANDARD SYMBOLS & CONVENTIONS:

"●" Denotes iron survey marker, set, unless otherwise noted.

GRADING & EROSION CONTROL NOTES:

BEFORE DEMOLITION AND GRADING BEGIN

Install silt fence/bio roll around the perimeter of the construction area.

Sediment control measures must remain in place until final stabilization has been established and then shall be removed. Sediment controls may be removed to accommodate short term construction activity but must be replaced before the next rain.

A temporary rock construction entrance shall be established at each access point to the site and a 6 inch layer of 1 to 2 inch rock extending at least 50 feet from the street into the site and shall be underlain with permeable geotextile fabric. The entrance shall be maintained during construction by top dressing or washing to prevent tracking or flow of sediments onto public streets, walks or alleys. Potential entrances that are not so protected shall be closed by fencing to prevent unprotected exit from the site.

DURING CONSTRUCTION:

When dirt stockpiles have been created, a double row of silt fence shall be placed to prevent escape of sediment laden runoff and if the piles or other disturbed areas are to remain in place for more than 14 days, they shall be seeded with Minnesota Department of Transportation Seed Mixture 22-111 at 100 lb/acre followed by covering with spray mulch.

A dumpster shall be placed on the site for prompt disposal of construction debris. These dumpsters shall be serviced regularly to prevent overflowing and blowing onto adjacent properties. Disposal of solid wastes from the site shall in accordance with Minnesota Pollution Control Agency requirements.

A separate container shall be placed for disposal of hazardous waste. Hazardous wastes shall be disposed of in accordance with MPCA requirements.

Concrete truck washout shall be in the plastic lined ditch and dispose of washings as solid waste.

Sediment control devices shall be regularly inspected and after major rainfall events and shall be cleaned and repaired as necessary to provide downstream protection.

Streets and other public ways shall be inspected daily and if litter or soils has been deposited it shall promptly be removed.

If necessary, vehicles, that have mud on their wheels, shall be cleaned before exiting the site in the rock entrance areas.

Moisture shall be applied to disturbed areas to control dust as needed.

Portable toilet facilities shall be placed on site for use by workers and shall be properly maintained.

If it becomes necessary to pump the excavation during construction, pump discharge shall be into the stockpile areas so that the double silt fence around these areas can filter the water before it leaves the site.

Temporary erosion control shall be installed no later than 14 days after the site is first disturbed and shall consist of broadcast seeding with Minnesota Department of Transportation Seed Mixture 22-111 at 100 lb/acre followed by covering with spray mulch.

SITE WORK COMPLETION:

When final grading has been completed but before placement of seed or sod an "as built" survey shall be done per City of Minneapolis requirements to insure that grading was properly done.

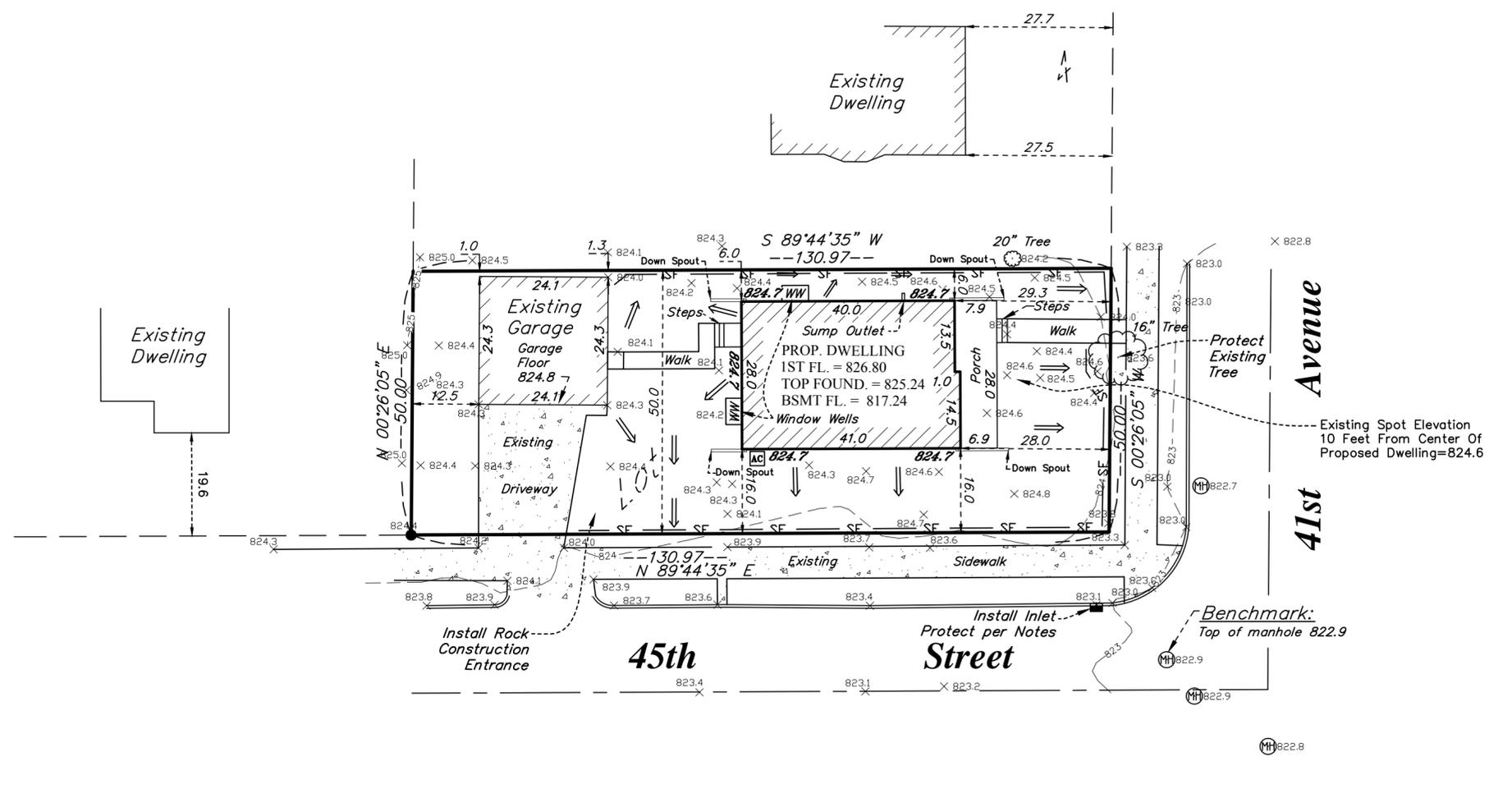
When any remedial grading has been completed, sod or seeding shall be completed including any erosion control blankets for steep areas.

When turf is established, silt fence and inlet protection and other erosion control devices shall be disposed of and adjacent streets, alleys and walks shall be cleaned as needed to deliver a site that is erosion resistant and clean.

EXISTING HARDCOVER		PROPOSED HARDCOVER	
House	1,339 Sq. Ft.	House	1,135 Sq. Ft.
Garage	586 Sq. Ft.	Garage	586 Sq. Ft.
Concrete Surfaces	804 Sq. Ft.	Porch	216 Sq. Ft.
TOTAL EXISTING HARDCOVER	2,729 Sq. Ft.	Concrete Surfaces	640 Sq. Ft.
AREA OF LOT	6,549 Sq. Ft.	Rear Steps/Landing	23 Sq. Ft.
PERCENTAGE OF HARDCOVER TO LOT	41.7%	TOTAL EXISTING HARDCOVER	2,600 Sq. Ft.
		AREA OF LOT	6,549 Sq. Ft.
		PERCENTAGE OF HARDCOVER TO LOT	39.7%

LEGEND

EXISTING CONTOUR	--- 978 ---
EXISTING SPOT ELEVATION	X 978.5
PROPOSED CONTOUR	— 978 —
DRAINAGE ARROW - FLOW	⇒
SILT FENCE/STRAW LOGS	— SF —



DATE	REVISION DESCRIPTION	DRAWING ORIENTATION & SCALE	CLIENT NAME / JOB ADDRESS		I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED CIVIL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA. Joseph S. Rinke 52716 LICENSE NO. August 1, 2016 DATE	SHEET TITLE PROPOSED SURVEY DRAWING NUMBER 160662 JR	SHEET NO. S1
			JASON MACDONALD 4452 41ST AVE S. MINNEAPOLIS, MN	5300 South Hwy. No 101 Minnetonka, Minnesota 55345 Phone (952) 474-7964 Web: www.advsur.com	DATE SURVEYED: JUNE 29, 2016 DATE DRAFTED: AUGUST 1, 2016		

ADDRESS:
4452 41st Ave S
Minneapolis, MN 55406

PROPERTY ID:
07-028-23-43-0061

LEGAL DESCRIPTION:
"ARCADIA SECOND ADDITION" TO
MINNEAPOLIS

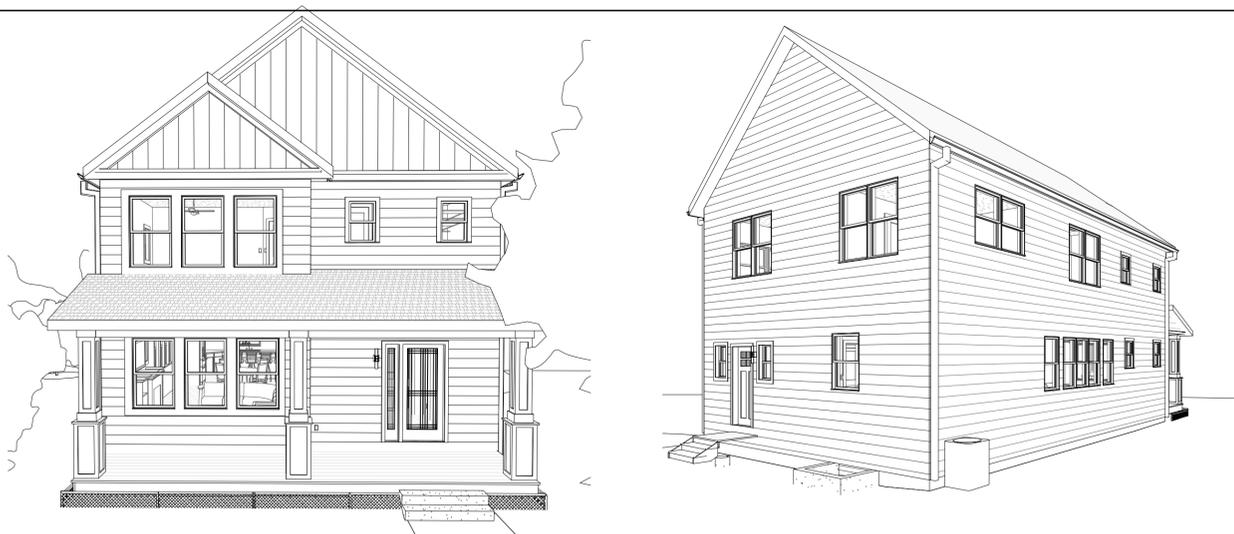
LOT 004

DRAWING INDEX

A000	SITE SURVEY
A100	INFORMATION
A101	FLOOR PLANS
A200	FLOOR PLANS
A300	REFLECTED CEILING PLAN
A301	ELEVATIONS
A400	ELEVATIONS
A401	SECTIONS
A401	SECTIONS

AREA CALCULATIONS

GROSS	
FOUNDATION	1136
1ST FLOOR	1136
2ND FLOOR	1136
TOTAL GROSS 3,408	
LIVEABLE	
BASEMENT- FUTURE FIN	1003
1ST FLOOR	1067
2ND FLOOR	1067
TOTAL LIVEABLE 3,137	



2 Front

3 Rear

STRUCTURAL LOAD INFORMATION
HEADERS: SHALL BE (2) 2x10" HEADERS UNLESS NOTED OTHERWISE
MIN BEARING- 3" BEARING EACH END WITH SPANS GREATER THAN 7'-0" UNLESS NOTED OTHERWISE.
PROVIDE SOLID BEARING UNDER ALL BEAMS, HEADERS, AND GIRDERS TO FOUNDATION.
FLOOR TRUSSES ARE 18" DEEP AND SPAN 28'-0" AT 19.2" OC.
LUMBER COMPANY SHALL VERIFY AND SIZE WALLS, FLOORS, BEAMS, TRUSSES, LVL'S, SHEATHING, AND ADDITIONAL LUMBER ASSEMBLIES.

LVL - VERIFIED BY LUMBER COMPANY

GARAGE DOOR SPAN (2)	12"	SPAN= 16'-0"
STAIRWAY OPENINGS (2)	9 1/4"	SPANS APPROX 5'-6"

THERMAL INSULATION- TYPICAL EXTERIOR WOOD STUD WALL SECTION CALCULATION -R20 REQUIRED

MATERIAL		R-VALUE
AIR FILM-		0.17
SIDING	3/8"-1/2"	0.61
AIR BARRIER		0.05
7/16" OSB	1.25in/7/16"	0.53
BATT INSULATION	21x 90.6%	19.03
2x6" STUD	1.25x9.4%	0.12
1/2" GWB	0.45	0.45
TOTAL		20.96

SPECIFICATIONS:

- 00 00 00 PROJECT DESCRIPTION- REMOVE THE EXISTING HOME, DEBREE, HARDSCAPE, FOUNDATION AND FOOTINGS. DIG A NEW FOUNDATION AND FOOTINGS, AND BUILD A NEW SINGLE FAMILY 2- STORY HOME. EXISTING DETACHED SIDESTREET ACCESS GARAGE TO REMAIN. 4 BEDROOM 3 BATH.
- 00 00 10 GENERAL CONDITIONS-
 - A. ARCHITECT IS RESPONSIBLE FOR PROVIDING THE DRAWINGS AND SPECIFICATIONS. CONSTRUCTION ADMINISTRATION AND NEGOTIATIONS ARE THE OWNER'S AND CONTRACTOR'S RIGHTS AND RESPONSIBILITIES AND SHALL NOT HOLD THE ARCHITECT LIABLE.
 - B. CONTRACTOR SHALL BE RESPONSIBLE FOR CITY INSPECTION AND PERMITS.
 - C. THE WORK AS DEFINED IN THE DRAWINGS AND SPECIFICATIONS ARE THE CONTRACTOR'S RESPONSIBILITY AS PER THE OWNER/ GENERAL CONTRACTOR AGREEMENT.
 - D. THE OWNER IS A DEVELOPER AND ACTING OWNER UNTIL A BUYER IS FOUND. IF AN OWNER PURCHASES DURING CONSTRUCTION THE OWNER AND CONTRACTOR SHALL DETERMINE RIGHTS AND RESPONSIBILITIES.
 - E. SELECTION OF STANDARD PRODUCTS, MATERIALS, AND FINISHES ARE DETERMINED BY OWNER AND CONTRACTOR.
 - F. SHOP DRAWINGS AND SUBMITTALS SHALL BE REVIEWED AND APPROVED BY OWNER/ CONTRACTOR
 - G. IF NOT NOTED CONTRACTOR SHALL PROVIDE AND INSTALL MATERIALS AND PRODUCTS ACCORDING TO MANUFACTURER'S STANDARDS INCLUDING MATERIALS NOT NOTED TO MAKE AN ASSEMBLY.
- 01 00 00 SITE- THE EXCAVATION FOR THE BUILDING FOUNDATION SHALL BE PERFORMED IMMEDIATELY AFTER OR SIMULTANEOUSLY OF DEMOLITION AND REMOVAL OF THE EXISTING BUILDING FROM THE SITE.
- 02 00 00 EXISTING CONDITIONS- THE EXISTING HOUSE SHALL BE DEMOLISHED AND REMOVED FROM THE SITE. CONTRACTOR SHALL PULL APPROPRIATE PERMITS AND INSPECTIONS. CONTRACTOR HAS RIGHTS AND RESPONSIBILITY FOR DISPOSAL, RECYCLING, ETC OF EXISTING HOUSE AND ALL MATERIALS.
- 03 00 00 CONCRETE- APPROPRIATE DOCUMENTATION AND TESTING SHALL BE CONDUCTED
 - A. CONCRETE SLABS IN GARAGE AND BASEMENT SHALL BE SMOOTH FINISH. CONCRETE SHALL BE 4,000 PSI OR GREATER.
 - B. FOOTINGS SHALL BE 5,000 PSI
- 04 00 00 MASONRY- (INTERIOR)
 - A. VENEER MASONRY SHALL BE AS SELECTED BY CONTRACTOR
 - B. SPECIFICATIONS AND INSTALLATION PER MANUFACTURER RECOMMENDATIONS
- 05 00 00 METAL-
 - A. CONCRETE REINFORCING BARS SHALL BE ASTM A996: RAIL-STEEL AND AXLE-STEEL DEFORMED BARS FOR CONCRETE REINFORCEMENT.
 - B. REINFORCING MESH IN SLABS SHALL BE ASTM A185: SPECIFICATION FOR WELDED PLAIN STEEL WIRE FABRIC FOR CONCRETE REINFORCEMENT 10# W6x6
 - C. PREFINISHED ALUMINUM FASCIA AND PERFORATED ALUMINUM SOFFIT
- 06 00 00 WOODS/ PLASTICS
 - A. EXTERIOR STUD WALLS SHALL BE 2x6" CONSTRUCTION GRADE LUMBER AT 16" OC TYPICAL.
 - B. INTERIOR AND GARAGE STUD WALLS SHALL BE 2x4" CONSTRUCTION GRADE LUMBER AT 16" OC TYPICAL UNLESS NOTED OTHERWISE
 - C. CABINETS- PROVIDE SHOP DRAWINGS AND SAMPLES OF FINISH AND MATERIALS. TRIM SHALL MATCH. CABINETS SHALL BE AWI ECONOMY GRADE. FACES SHALL BE RAISED PANEL HARDWOOD. DOOR FACES SHALL BE LAP JOINTED ENDS AND DRAWER FACES SHALL BE SOLID. EUROPEAN HINGES AND MAGNETIC DRAWER GLIDES. PULLS SHALL BE STANDARD 4" METAL PULLS. FINISHES AND MATERIALS SELECTED BY OWNER.
 - D. FLOOR TRUSSES SHALL BE 18" DEEP AND SHALL BE 18" DEEP DESIGNED TO CARRY A 50 PSF LIVE AND DEAD LOAD WITH A MAXIMUM SPAN OF 26'-0"
 - E. SUBFLOOR SHALL BE 3/4" OSB AS SELECTED BY CONTRACTOR.
 - F. SIDING: PROVIDE AND INSTALL PER MANUFACTURERS RECOMMENDATIONS.
 - 1. SIDING 1- 5" VINYL LAP SIDING- CERTAINTED WOLVERINE AMERICAN LEGEND 0.042" THICKNESS 9/16" PROJECTION 5" WOOD GRAIN
 - 2. SIDING 2- 4" VINYL LAP SIDING- CERTAINTED WOLVERINE AMERICAN LEGEND 0.042" THICK, 9/16" PROJECTION, 4" WOOD GRAIN
 - 3. SIDING 3- VINYL CERTAINTED SINGLE 12" VERTICAL BOARD AND BATTEN ROUGH CEDAR
 - 4. TRIM BOARD- LP SMART SIDE.
 - G. CORNERS ON FRONT GABLES SHALL BE RETURN BOXES WRAPPED WITH FASCIA.
 - H. WALL SHEATHING SHALL BE 7/16" OSB ZIP SYSTEM- www.zipsystem.com and phone 1800-933-9220

- 07 00 00 THERMAL AND MOISTURE PROTECTION
 - A. EXTERIOR WALLS- 2x6" WOOD FRAMED - R-20 OVERALL- BATT INSULATION BY OWENS CORNING
 - B. JOIST SPACE- CLOSED CELL SPRAY FOAM INSULATION- R-20- BY DOW STYROFOAM BRAND SPRAY POLYURETHANE FOAM CM SERIES- CLOSED CELL
 - C. BASEMENT EXTERIOR PERIMETER WALLS- R-15 EXTRUDED POLYSTYRENE INSULATION BY DOW STYROFOAM BRAND SM EXTRUDED POLYSTYRENE FOAM INSULATION
 - D. ABOVE CEILING INSULATION- R 49 LOOSE FILLED CELLULOSE INSULATION- BY MODERN INSULATION HOUSE BLANKET - 1206 S Monroe St, Spencer, WI 54479
 - E. 715-659-2446 OR APPROVED ALTERNATIVE
 - F. MOISTURE/AIR BARRIER SHALL BE ZIP PANELS WITH STORMEX WATER RESISTIVE BARRIER OR ARCHITECT APPROVED ALTERNATE
 - G. VAPOR BARRIER- 4 MILLIMETER POLY-ETHYLENE MEMBRANE. SHALL BE CONTINUOUS THROUGHOUT INCLUDING ELECTRICAL, MECHANICAL, AND PLUMBING PENETRATIONS.
 - H. CONCRETE WATER PROOFING SHALL BE 60 MIL LIQUID APPLIED WATERPROOF MEMBRANE. TREMCO BARRIER SOLUTIONS TUFF-N-DRI H8- SPRAY APPLIED SINGLE COMPONENT POLYMER-MODIFIED ASPHALT EMULSION 60 MILIMETER WET THICKNESS AND 40 MILIMETER CURED THICKNESS. INSTALL PER MANUFACTURER'S STANDARDS.
 - I. ROOF SHINGLES SHALL BE
 - J. PROVIDE WIND WASH BARRIER AT EXTERIOR EDGE OF ATTIC INSULATION
 - K. ICE/ WATER PROTECTION AT 3'-0" OF EXTERIOR EAVES AND VALLEYS.
- 08 00 00 OPENINGS ARCHITECTURAL OPENING SIZES ARE GENERAL IN NATURE AND BASIC. CONTRACTOR SHALL MODIFY OPENING SIZES ACCORDING TO MANUFACTURER'S DATA.
 - A. DOOR MANUFACTURERS- CONTRACTOR SHALL SELECT MANUFACTURER TO MEET THE MINIMUM CODE REQUIREMENTS
 - B. WINDOW MANUFACTURER SHALL BE PELLA THERMASTAR OR PELLA 350 SERIES
- 09 00 00 FINISHES
 - A. CARPET AND CARPET PAD SHALL BE
 - B. WOOD TRIM STAIN SHALL BE.....
 - C. PAINT- MANUFACTURER..... COLORS.....
 - D. CEILINGS SHALL BE STANDARD KNOCKDOWN UNLESS NOTED OTHERWISE.
- 11 00 00 EQUIPMENT
 - A. APPLIANCES
 - 1. CONTRACTOR SHALL SELECT APPLIANCES AND DETERMINE MECHANICAL AND ELECTRICAL REQUIREMENTS
- 22 00 00 PLUMBING-
 - A. PLUMBING CONTRACTOR SHALL WORK OFF THE ARCHITECTURAL PLANS AND PRODUCE DRAWINGS AND SPECIFICATIONS FOR LOCAL AND STATE APPROVAL AND PERMIT.
 - B. TOILETS SHALL BE 0.8 GALLONS PER FLUSH OR LESS
 - C. SINKS SHALL BE 2.0 GALLONS PER MINUTE FLOW OR LESS
 - D. SHOWERHEADS SHALL BE 2.0 GALLONS PER MINUTE OR LESS
 - E. THERE SHALL BE ONE FRONT AND ONE REAR EXTERIOR HOSE BIBS WITH INTERINAL SHUT OFFS AT MECHANICAL ROOM
 - F. PEX TUBING STANDARD FROM MECHANICAL ROOM TO FIXTURE.
 - G. HOT WATER HEATER SHALL BE 50 GALLON 95% EFFICIENT NATURAL GAS
- 23 00 00 MECHANICAL-
 - A. MECHANICAL CONTRACTOR SHALL WORK OFF THE ARCHITECTURAL PLANS AND PRODUCE DRAWINGS AND SPECIFICATIONS FOR LOCAL AND STATE APPROVAL AND PERMIT.
 - B. AIR CONDITIONER SHALL BE SEER 13 OR BETTER AND 3 TON UNIT UNLESS CONTRACTOR PRODUCES J AND S SCHEDULES THAT PROVE OTHERWISE.
 - C. FURNACE SHALL BE 95% EFFICIENT NATURAL GAS WITH HEAT RECOVERY AIR EXCHANGER.
- 26 00 00 ELECTRICAL-
 - A. JUNCTION BOXES FOR LIGHTS AND RECEPICALS SHALL BE ANCHORED TO STRUCTURE.
 - B. ELECTRICIAN SHALL WORK OFF THE ARCHITECTURAL PLANS AND PRODUCE DRAWINGS AND SPECIFICATIONS FOR LOCAL AND STATE APPROVAL AND PERMIT.
- 28 00 00 ELECTRONIC SAFETY AND SECURITY-
 - A. PROVIDE FIRE PROTECTION AS REQUIRED BY LAW.



1 Site Plan
1" = 20'-0"

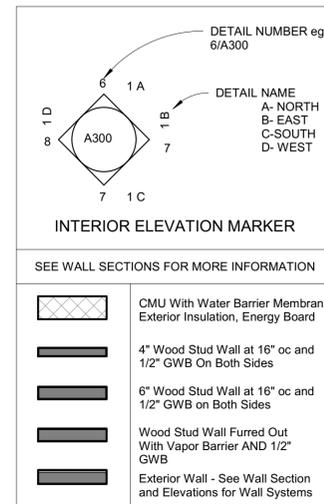
SEE SITE SURVEY FOR EXACT DIMENSIONS/ TOPOGRAPHICAL INFO/ AND MORE DETAIL
BOTH SOUTH AND EAST ELEVATIONS ARE CONSIDERED FRONTS- AND SETBACK REQUIREMENTS ARE 20'-0" MINIMUM THEREFORE A VARIANCE FOR EAST 45TH STREET WILL HAVE TO BE ACHIEVED- SEE SUPPORTING DOCUMENTS

	Communications Outlet
	Duplex Outlet
	Dimmer Switch
	Single Switch
	Three Way Switch
	Uplight Sconce
	Flush Mount Ceiling Light
	Bathroom Ceiling Fan
	Pendant Lighting
	Recessed Can Lighting
	Ceiling Fan
	Carbon Monoxide Detector
	Motion Sensor

ELECTRICAL SYMBOLS
1/4" = 1'-0"

	Sump Pump and Radon Mitigation System
	Air Exchange
	Square Supply Diffuser
	Square Return Register
	Furnace
	Air Conditioner (Outside)
	Smoke Detector
	Floor Drain

MECHANICAL SYMBOLS
1/4" = 1'-0"



WALL SYMBOLS
1/4" = 1'-0"

REVISIONS	date

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Jeffrey R. Hafferman
Date: 7/8/2016 5:31:37 PM License # 44333

SITE AND INFORMATION

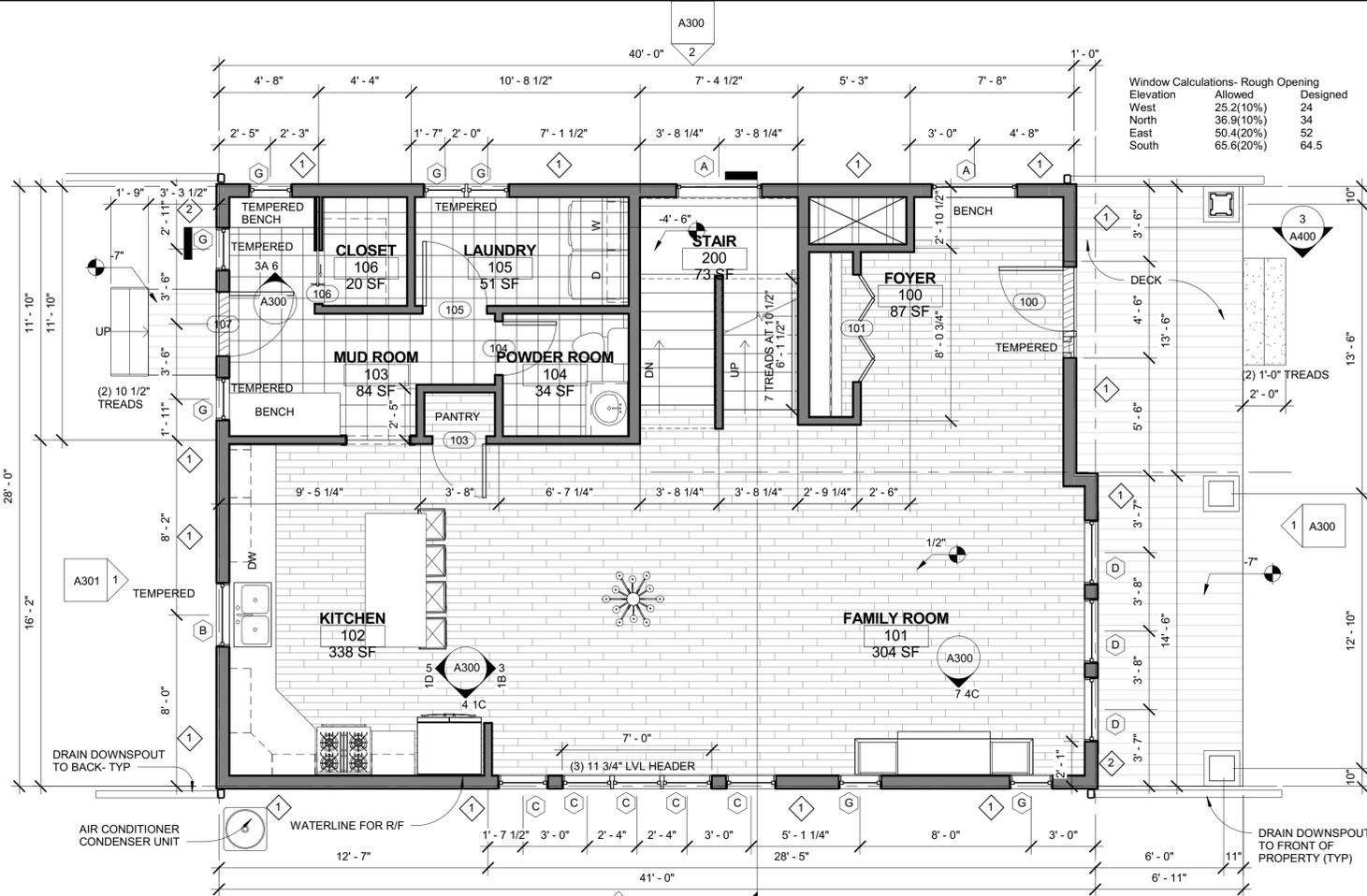
Sheet Title: _____

Project Name: **Jason D Macdonald LLC**
4452 41st Avenue S
Minneapolis, MN 55406

Project number	2016-24
Date	7/8/2016 5:31:37 PM
Drawn by	jrh
Checked by	jrh
Scale	As indicated

A000

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1 First Floor
1/4" = 1'-0"

Type Mark	Rough Opening Width	Rough Opening Height	Type	Manufacturer	Model	Head Height	Comments	Count	Window Area
A	4'-0"	2'-0"	Fixed with Trim				LOW E DOUBLE GLAZED .29 U VALUE	2	8.0 SF
B	3'-0"	4'-0"	Double Hung				EGRESS	7	12.0 SF
C	2'-4"	4'-6"	Double Hung			7'-6"	EGRESS	5	10.5 SF
D	3'-0"	5'-0"	Double Hung				LOW E DOUBLE GLAZED .29 U VALUE	12	15.0 SF
F	2'-3"	3'-5"	Casement with Trim			6'-9"	WITH FALL PROTECTION	2	7.7 SF
G	2'-0"	3'-0"	Double Hung with Trim				LOW E DOUBLE GLAZED .29 U VALUE	11	6.0 SF

BRACED FRAMING NOTES

BRACING METHOD- CONTINUOUS SHEATHING FASTENED WITH 8D NAILS AT 6" OC TOP AND BOTTOM AND 12" OC AT INTERIOR SUPPORTS MINIMUM.

BRACING METHOD- CONTINUOUS SHEATHING PORTAL METHOD- SEE DETAIL- CONTRACTOR SHALL SELECT OPTION BEST SUITED IN FIELD

NOTE:
FIRST FLOOR- 4 BRACED FRAMES REQUIRED ON EACH ELEVATION
SECOND FLOOR- 2 BRACED FRAMES ON NORTH AND SOUTH ELEVATION AND 3 BRACED FRAMES REQUIRED ON EAST AND WEST ELEVATIONS.

FRAMING METHOD- CONTINUOUS SHEATHING- MEANING- 7/16" OSB SHEATHING RUN CONTINUOUS THROUGHOUT FOR WALL SHEATHING- NO SUBSTITUTES.

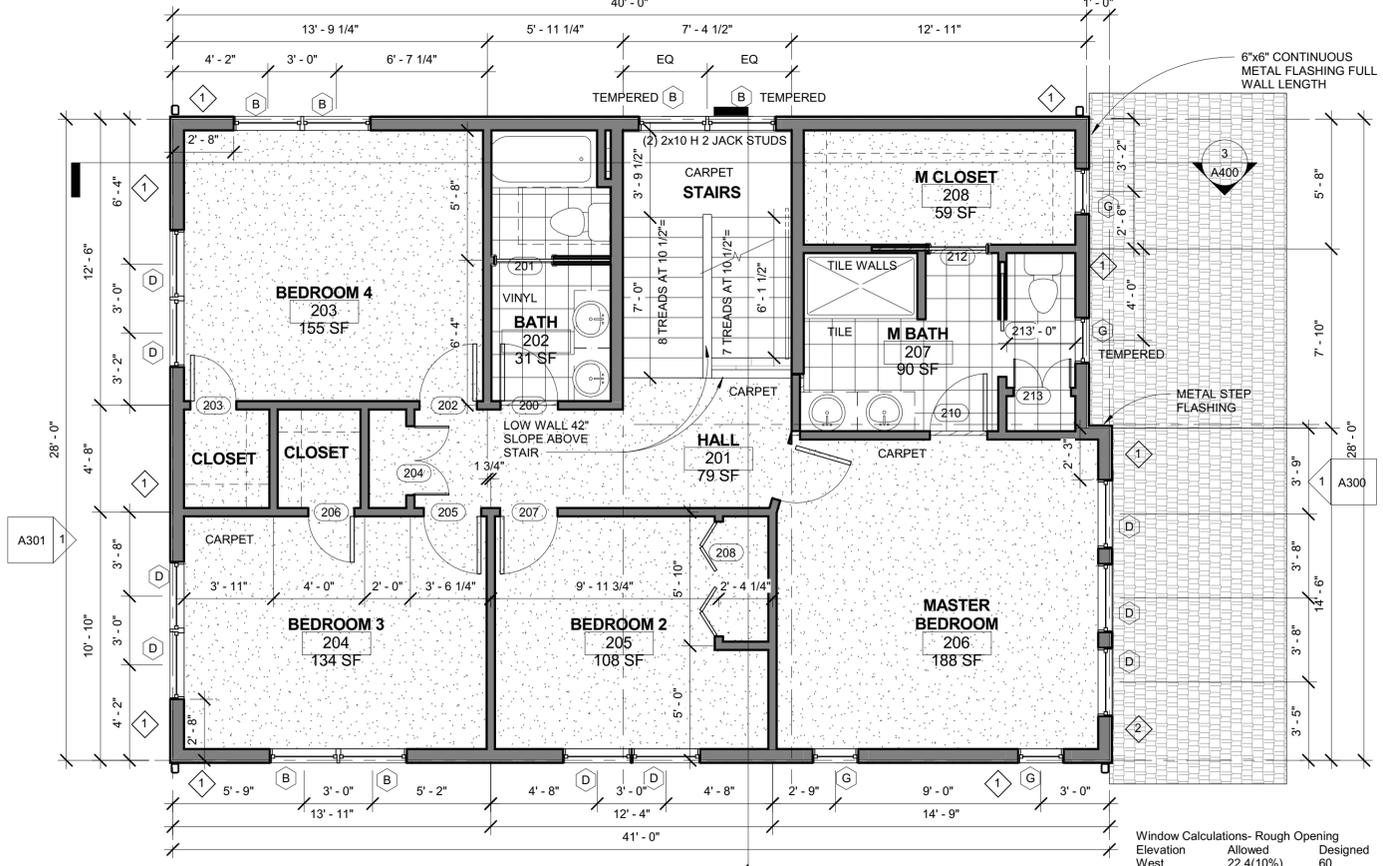
AT FLOOR TRUSSES BRACE ACCORDING TO R602.3(1)
AT ROOF TRUSSES BRACE ACCORDING TO R802.10

AT BASEMENT WALLS PARALLEL TO TRUSSES- BRACE FIRST 4'-0" OF TRUSSES TO WALL AT TOP AND BOTTOM 4'-0" OC AND ATTACHED WITH (3) 8D NAILS PER TRUSS

STAIR LANDINGS SHALL BE 2x8" WOOD FRAMING FROM EXTERIOR SIDE WALL STAIR OPENING (LOAD BEARING)- DOUBLE 2x12" AT STAIR OPENING- SECOND LEVEL LANDING EXTERIOR WALL IS LESS THAN 14'-0" HEIGHT.

Door Schedule

Door #	Family and Type	Level
100	door-single-glass-sidelight: 36" x 84"	First Floor
101	Bifold-4 Panel: 60" x 84"	First Floor
103	Single-Panel 4: 30" x 80"	First Floor
104	Single-Panel 4: 30" x 80"	First Floor
105	Single-Panel 4: 36" x 80"	First Floor
106	Sliding_Door_Pocket_door_-_Wood_8628: 30"x68"	First Floor
107	Single-Entry 3: 36" x 80"	First Floor
200	Single-Panel 4: 30" x 80"	Second Floor
201	Door-Interior-Single-Pocket-2_Panel-Wood: 30" x 80"	Second Floor
202	Single-Panel 4: 30" x 80"	Second Floor
203	Single-Panel 4: 24" x 80"	Second Floor
204	Double-Panel 2: cabinet 36"	Second Floor
205	Single-Panel 4: 30" x 80"	Second Floor
206	Single-Panel 4: 24" x 80"	Second Floor
207	Single-Panel 4: 30" x 80"	Second Floor
208	Bifold-4 Panel: 60" x 84"	Second Floor
210	Single-Panel 4: 30" x 80"	Second Floor
211	Single-Pocket: 30" x 80"	Second Floor
212	Door-Interior-Single-Pocket-2_Panel-Wood: 30" x 80"	Second Floor
213	Double-Panel 2: cabinet	Second Floor
214	Single-Panel 4: 30" x 80"	Second Floor



2 Second Floor
1/4" = 1'-0"

REVISIONS	date

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763-807-1044
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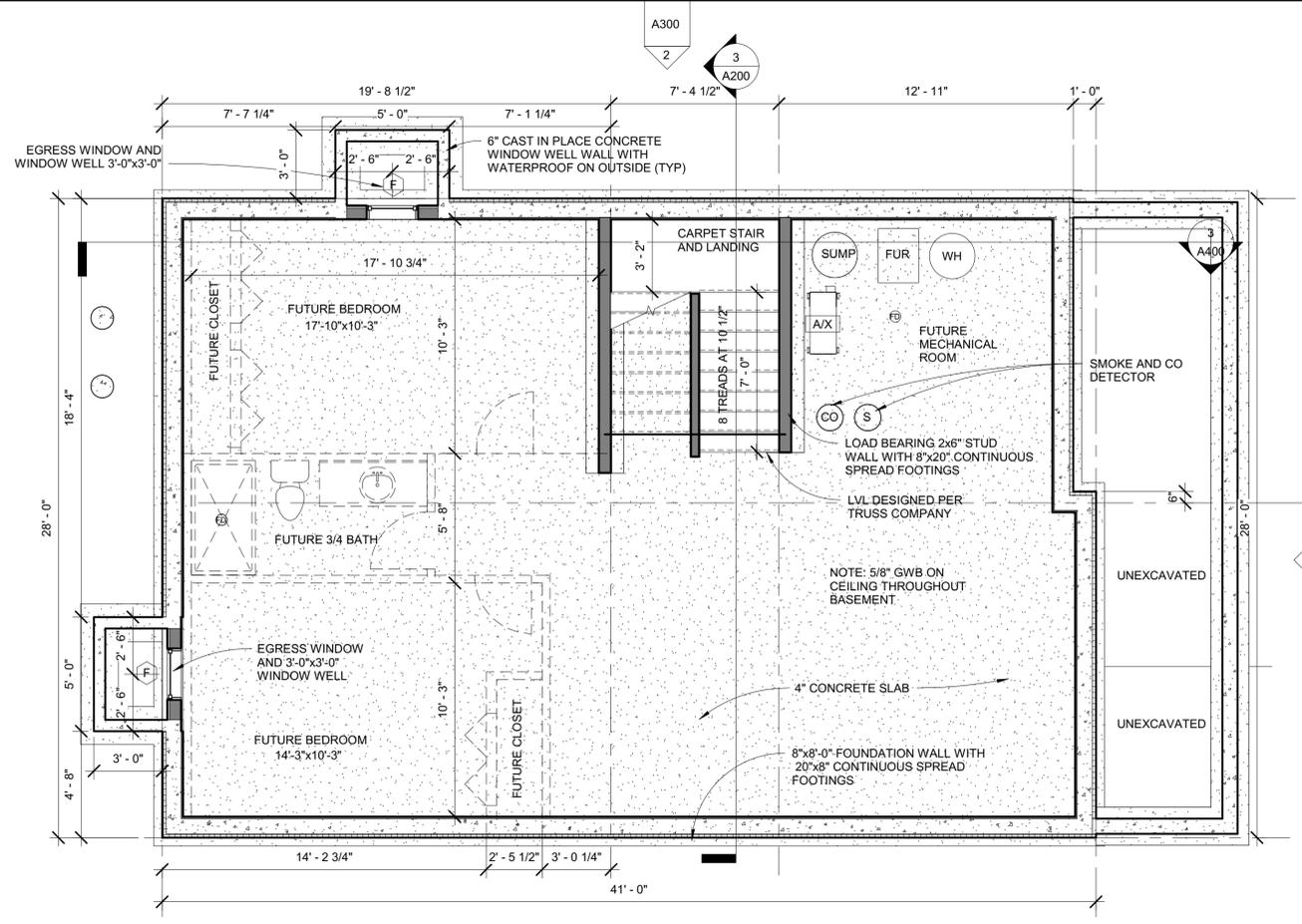
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Signature: *Jeffrey R. Hafferman*
Date: 7/8/2016 5:31:38 PM
License # 44333

Sheet Title: FLOOR PLANS
Project Name: **Jason D Macdonald LLC**
4452 41st Avenue S
Minneapolis, MN 55406

Project number	2016-24
Date	7/8/2016 5:31:38 PM
Drawn by	JRH
Checked by	JRH
Scale	1/4" = 1'-0"

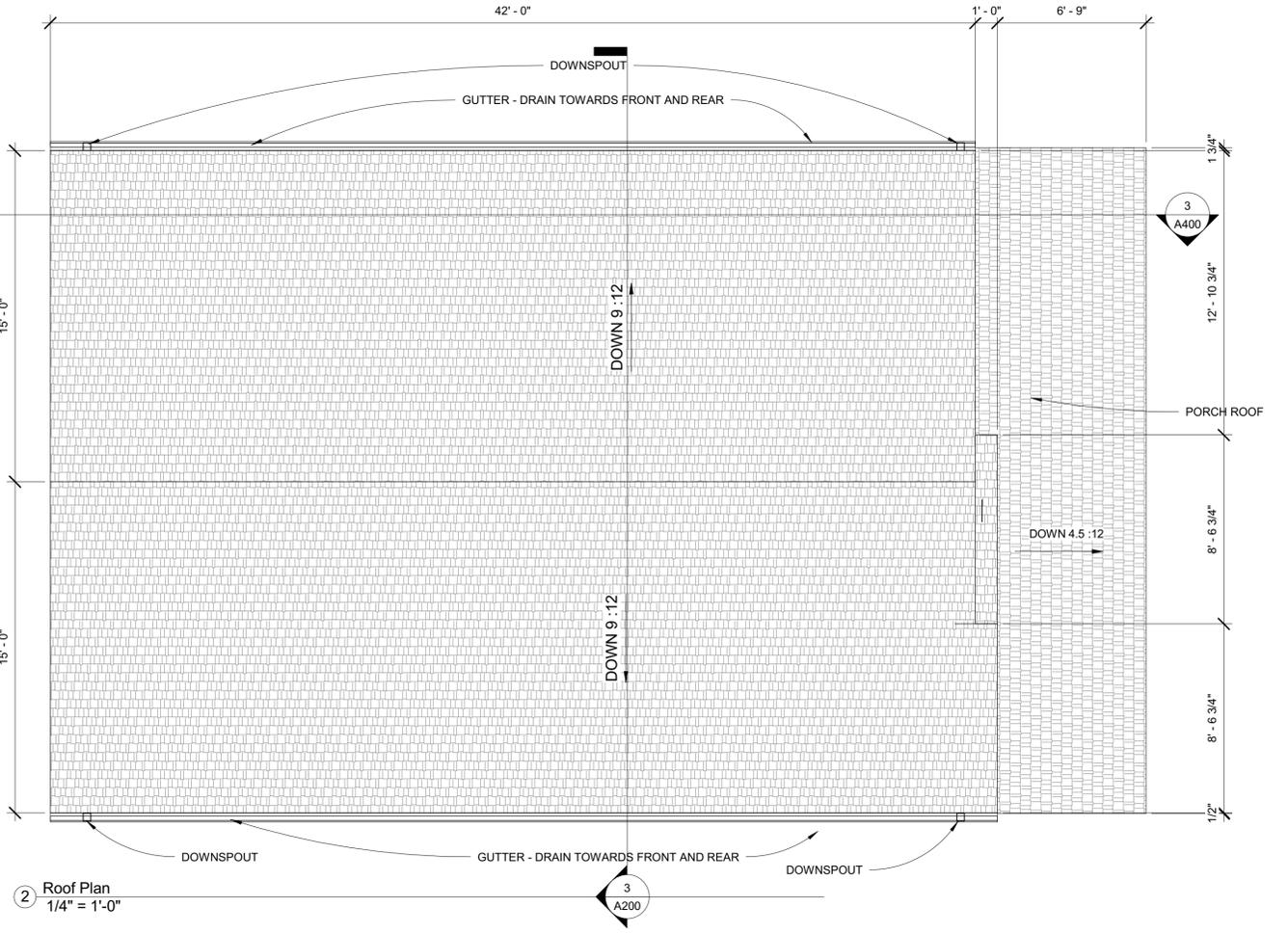
A100

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1 Basement
1/4" = 1'-0"

ROOF MATERIAL		
Material: Name	Material: Area	Material
Roofing - Asphalt Shingle	21 SF	
Roofing - Asphalt Shingle	263 SF	
Roofing - Asphalt Shingle	1586 SF	
	1870 SF	



2 Roof Plan
1/4" = 1'-0"

Room Finish Schedule										
Room Number	Room Name	Finish				Ceiling Heights	Comments	Area	Volume	Perimeter
		Floor	Base	Wall	Ceiling					
001	STAIRS	Carpet	2 1/4" Wood	PAIN	KNOCK DOWN	8' - 0"		77 SF	613 CF	45' - 5"
100	FOYER	Wood/prefinished	2 1/4" Wood	PAIN	KNOCK DOWN	8' - 0"		87 SF	695 CF	38' - 7 3/4"
101	FAMILY ROOM	Wood/prefinished	2 1/4" Wood	PAIN	KNOCK DOWN	8' - 0"		304 SF	2433 CF	71' - 1 1/2"
102	KITCHEN	Wood/prefinished	2 1/4" Wood	PAIN	KNOCK DOWN	8' - 0"		338 SF	2707 CF	81' - 6"
103	MUD ROOM	Vinyl	2 1/4" Wood	PAIN	KNOCK DOWN	8' - 0"		84 SF	670 CF	54' - 2 3/4"
104	POWDER ROOM	Vinyl	2 1/4" Wood	PAIN	KNOCK DOWN	8' - 0"		34 SF	269 CF	33' - 7 1/2"
105	LAUNDRY	Vinyl	2 1/4" Wood	PAIN	KNOCK DOWN	8' - 0"		51 SF	405 CF	30' - 1 1/4"
106	CLOSET	Vinyl	2 1/4" Wood	PAIN	KNOCK DOWN	8' - 0"		20 SF	160 CF	18' - 0 1/2"
124	PANTRY	Vinyl	2 1/4" Wood	PAIN	KNOCK DOWN	8' - 0"		7 SF	54 CF	10' - 7 3/4"
200	STAIR	Carpet	2 1/4" Wood	PAIN	KNOCK DOWN	8' - 0"		73 SF	583 CF	48' - 8 1/2"
201	HALL	Carpet	2 1/4" Wood	PAIN	KNOCK DOWN	8' - 0"		79 SF	635 CF	43' - 6 1/4"
202	BATH	Carpet	2 1/4" Wood	PAIN	KNOCK DOWN	8' - 0"		31 SF	248 CF	22' - 4"
203	BEDROOM 4	Carpet	2 1/4" Wood	PAIN	KNOCK DOWN	8' - 0"		155 SF	1236 CF	49' - 9 1/2"
204	BEDROOM 3	Carpet	2 1/4" Wood	PAIN	KNOCK DOWN	8' - 0"		134 SF	1074 CF	46' - 9 1/4"
205	BEDROOM 2	Carpet	2 1/4" Wood	PAIN	KNOCK DOWN	8' - 0"		108 SF	861 CF	44' - 2 1/2"
206	MASTER BEDROOM	Carpet	2 1/4" Wood	PAIN	KNOCK DOWN	8' - 0"		188 SF	1507 CF	54' - 4"
207	M BATH	Carpet	2 1/4" Wood	PAIN	KNOCK DOWN	8' - 0"		90 SF	723 CF	51' - 8 1/4"
208	M CLOSET	Carpet	2 1/4" Wood	PAIN	KNOCK DOWN	8' - 0"		59 SF	473 CF	33' - 8 1/2"
216	CLOSET	Carpet	2 1/4" Wood	PAIN	KNOCK DOWN	8' - 0"		16 SF	124 CF	15' - 9 3/4"
217	CLOSET	Carpet	2 1/4" Wood	PAIN	KNOCK DOWN	8' - 0"		16 SF	128 CF	16' - 0 1/2"

REVISIONS	date

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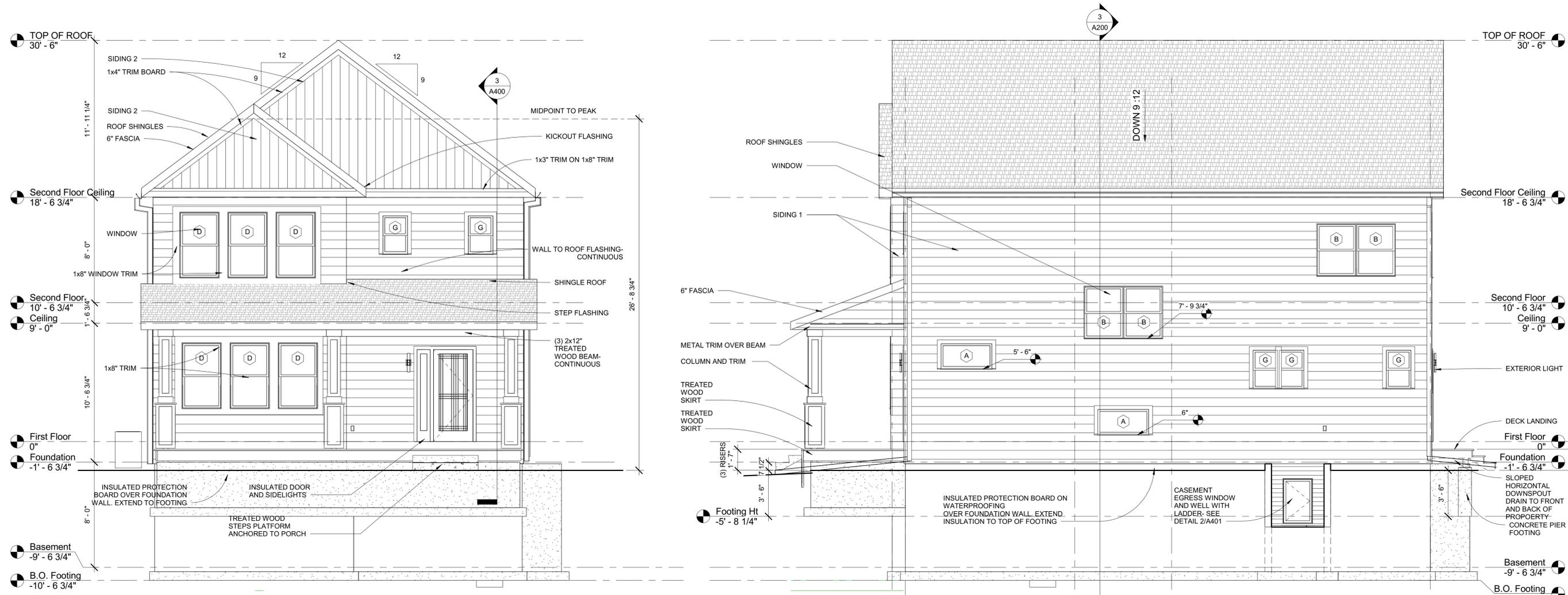
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 Signature: *Jeffrey R. Hafferman*
 Date: 7/8/2016 5:31:39 PM
 License # 44333

Sheet Title: FLOOR PLANS
 Project Name: **Jason D Macdonald LLC**
 4452 41st Avenue S
 Minneapolis, MN 55406

Project number	2016-24
Date	7/8/2016 5:31:39 PM
Drawn by	lnb
Checked by	jrh
Scale	1/4" = 1'-0"

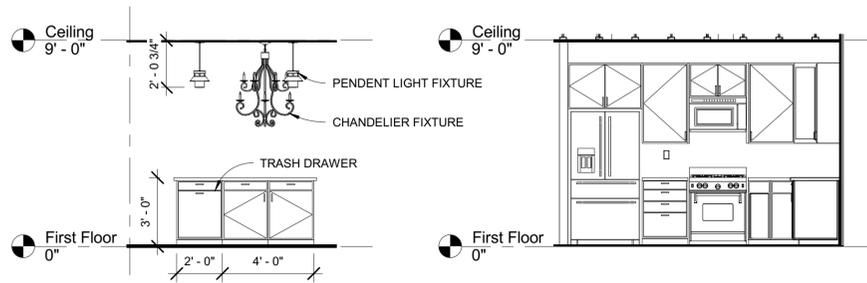
A101

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1 EAST
1/4" = 1'-0"

2 NORTH
1/4" = 1'-0"

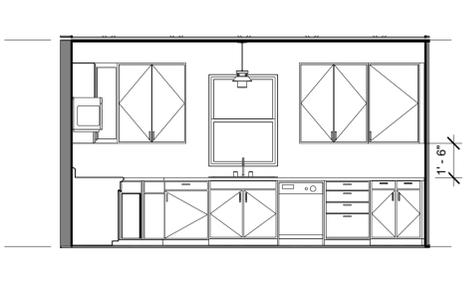


3 1B
1/4" = 1'-0"

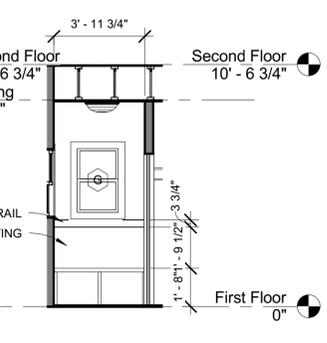
KITCHEN



4 1C
1/4" = 1'-0"

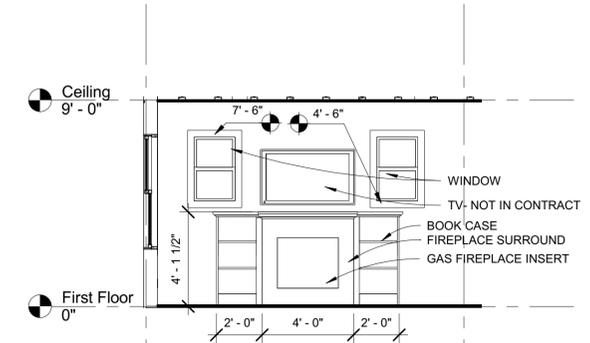


5 1D
1/4" = 1'-0"



6 3A
1/4" = 1'-0"

MUD ROOM



7 4C
1/4" = 1'-0"

LIVING ROOM

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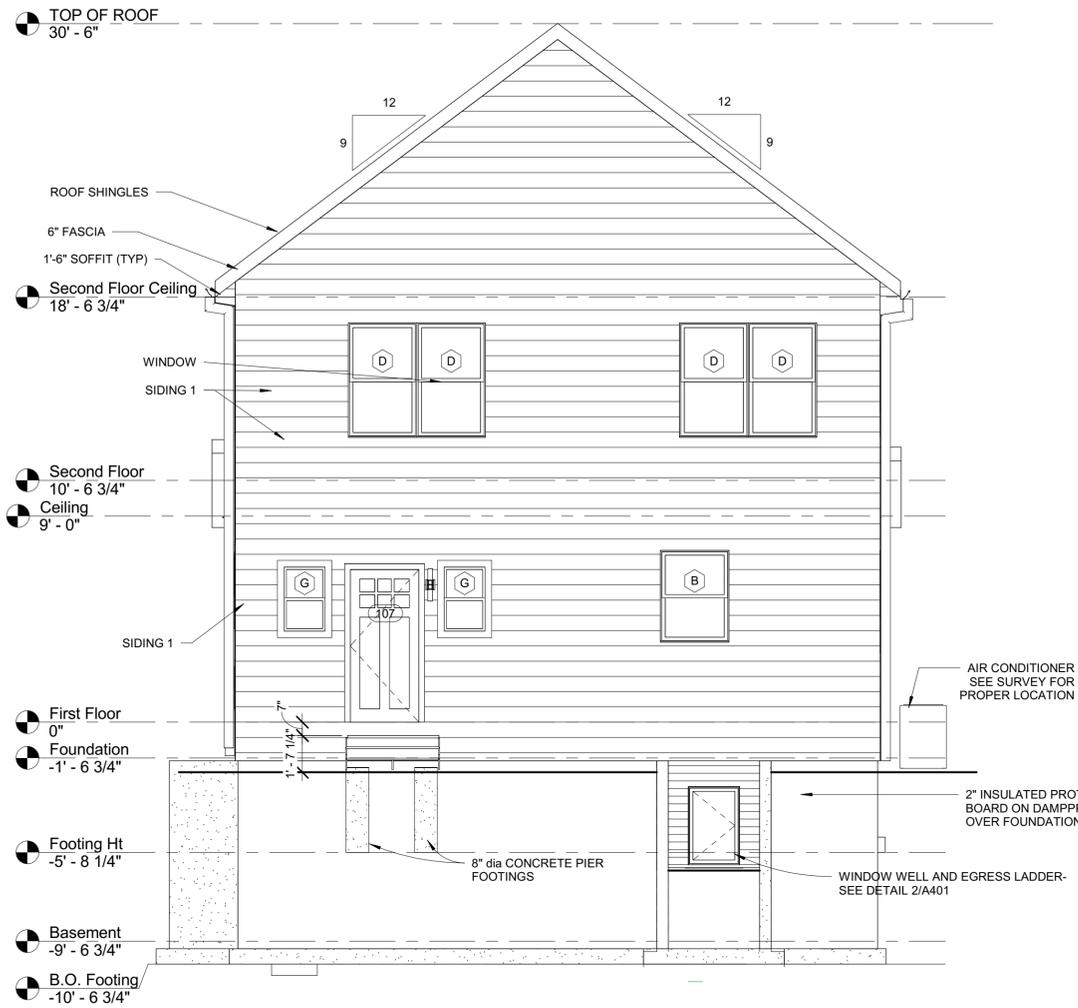
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 Project Name: Jason D Macdonald LLC
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 Minneapolis, MN 55406

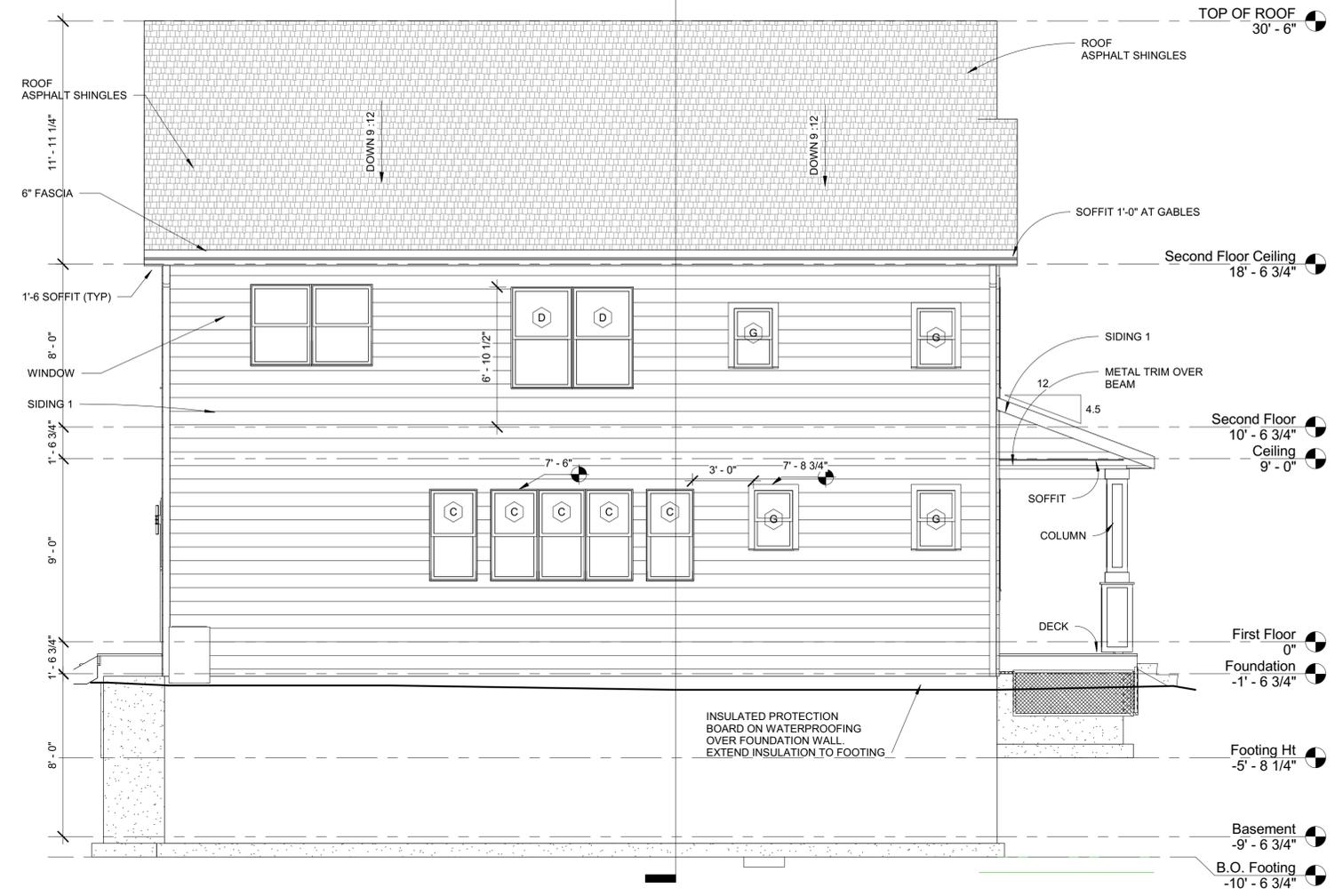
Project number	2016-24
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Checked by	jrh
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① WEST
1/4" = 1'-0"



② SOUTH
1/4" = 1'-0"

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Sheet Title: ELEVATIONS
 Project Name: **Jason D Macdonald LLC**
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 Minneapolis, MN 55406

Project number	2016-24
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Checked by	Checker
Scale	1/4" = 1'-0"

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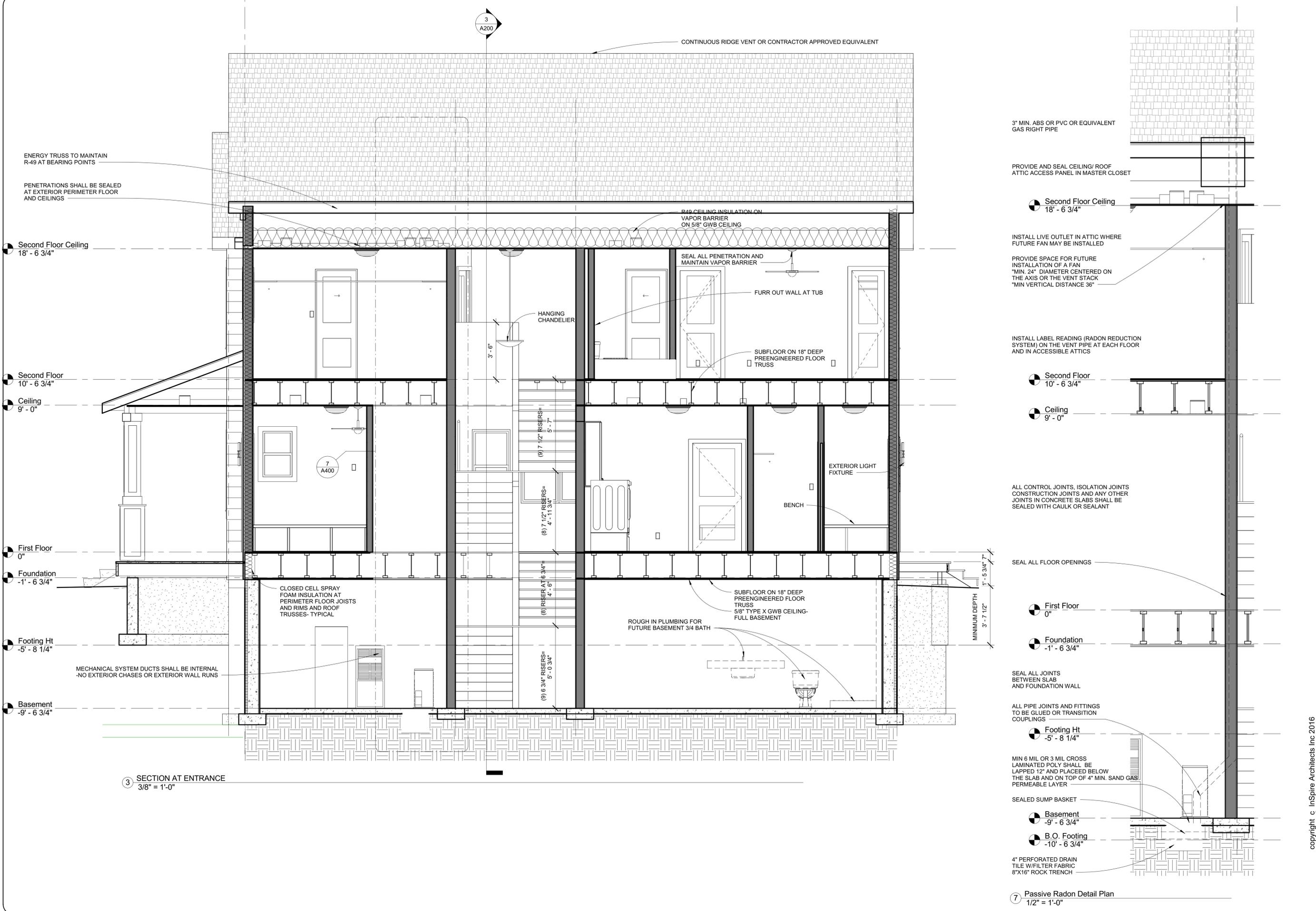
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Sheet Title: **SECTIONS**
 Project Name: **Jason D Macdonald LLC**
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Minneapolis, MN 55406

Project number: 2016-24
 Date: 7/8/2016 5:31:45 PM
 Drawn by: Inb
 Checked by: jrh
 Scale: As indicated

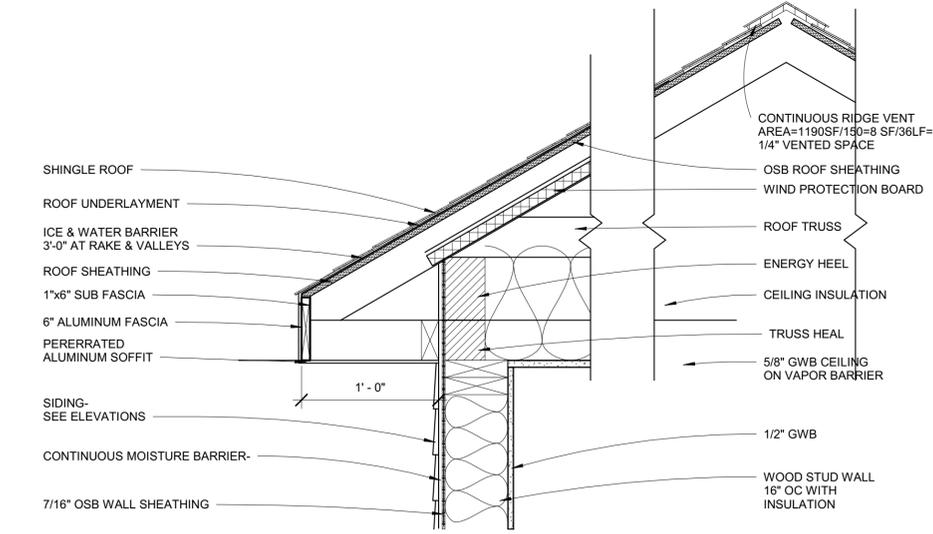
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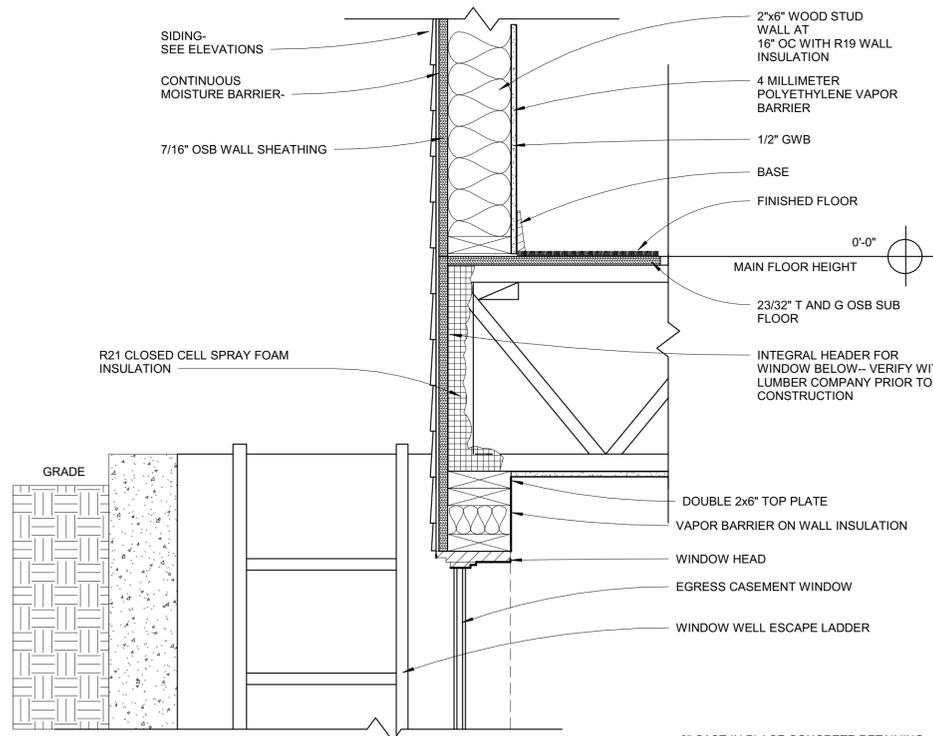
3 SECTION AT ENTRANCE
 3/8" = 1'-0"

- 3" MIN. ABS OR PVC OR EQUIVALENT GAS RIGHT PIPE
- PROVIDE AND SEAL CEILING/ ROOF ATTIC ACCESS PANEL IN MASTER CLOSET
- Second Floor Ceiling 18' - 6 3/4"
- INSTALL LIVE OUTLET IN ATTIC WHERE FUTURE FAN MAY BE INSTALLED
- PROVIDE SPACE FOR FUTURE INSTALLATION OF A FAN "MIN. 24" DIAMETER CENTERED ON THE AXIS OR THE VENT STACK "MIN VERTICAL DISTANCE 36"
- INSTALL LABEL READING (RADON REDUCTION SYSTEM) ON THE VENT PIPE AT EACH FLOOR AND IN ACCESSIBLE ATTICS
- Second Floor 10' - 6 3/4"
- Ceiling 9' - 0"
- ALL CONTROL JOINTS, ISOLATION JOINTS CONSTRUCTION JOINTS AND ANY OTHER JOINTS IN CONCRETE SLABS SHALL BE SEALED WITH CAULK OR SEALANT
- SEAL ALL FLOOR OPENINGS
- First Floor 0"
- Foundation -1' - 6 3/4"
- SEAL ALL JOINTS BETWEEN SLAB AND FOUNDATION WALL
- ALL PIPE JOINTS AND FITTINGS TO BE GLUED OR TRANSITION COUPLINGS
- Footing Ht -5' - 8 1/4"
- MIN 6 MIL OR 3 MIL CROSS LAMINATED POLY SHALL BE LAPPED 12" AND PLACED BELOW THE SLAB AND ON TOP OF 4" MIN. SAND GAS PERMEABLE LAYER
- SEALED SUMP BASKET
- Basement -9' - 6 3/4"
- B.O. Footing -10' - 6 3/4"
- 4" PERFORATED DRAIN TILE W/FILTER FABRIC 8"x16" ROCK TRENCH
- 7 Passive Radon Detail Plan 1/2" = 1'-0"

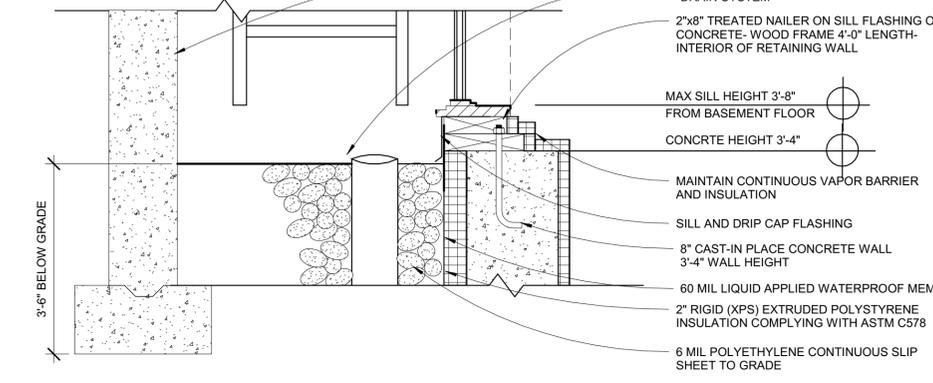
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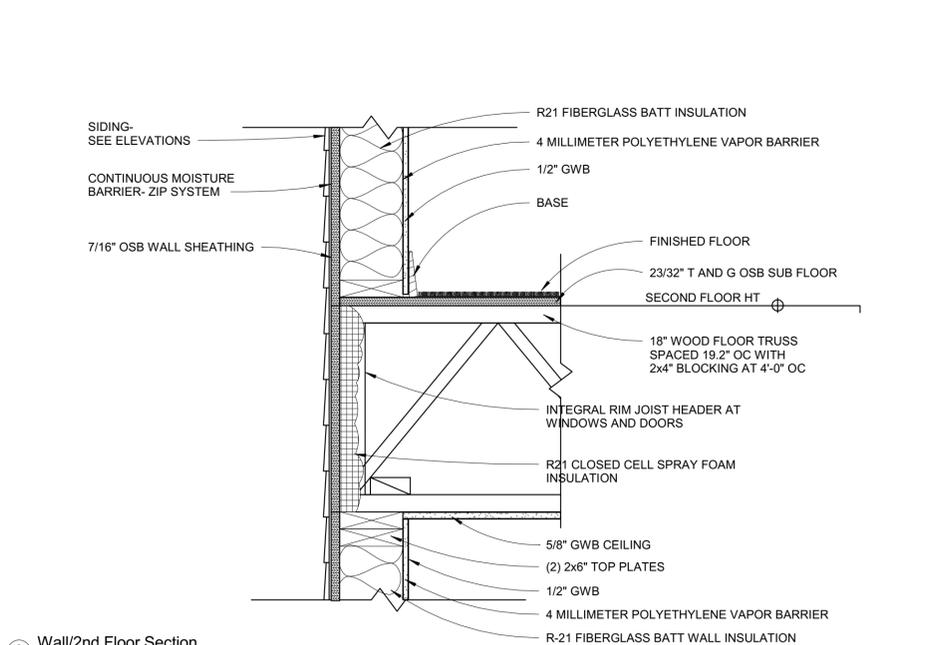
1 Wall/Roof Section
1 1/2" = 1'-0"



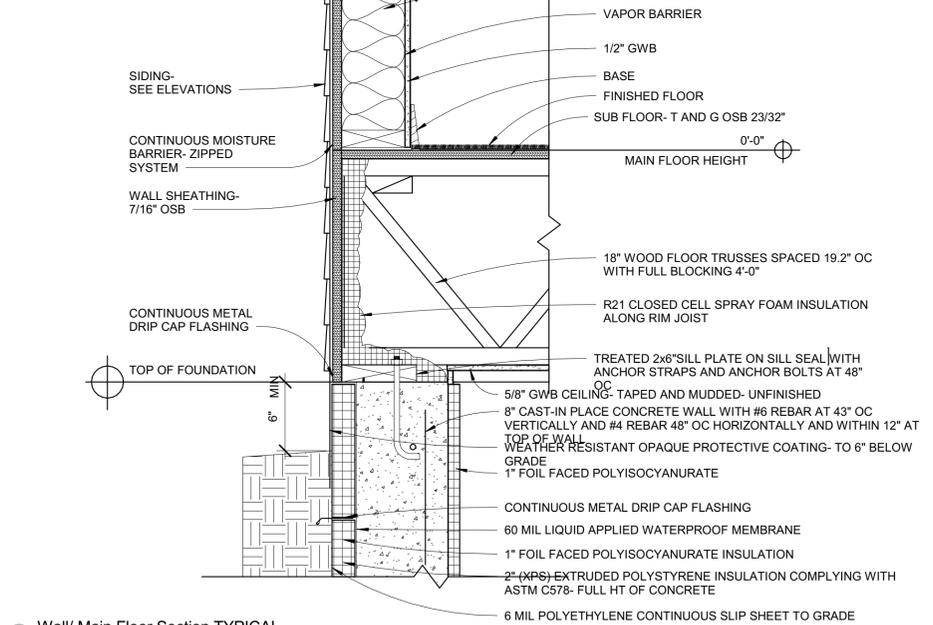
2 Basement Egress Window
1 1/2" = 1'-0"



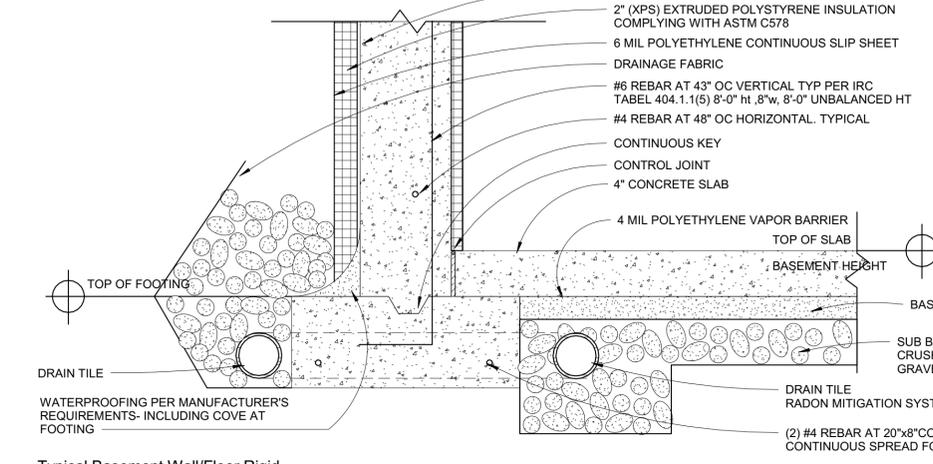
3 Wall/2nd Floor Section
1 1/2" = 1'-0"



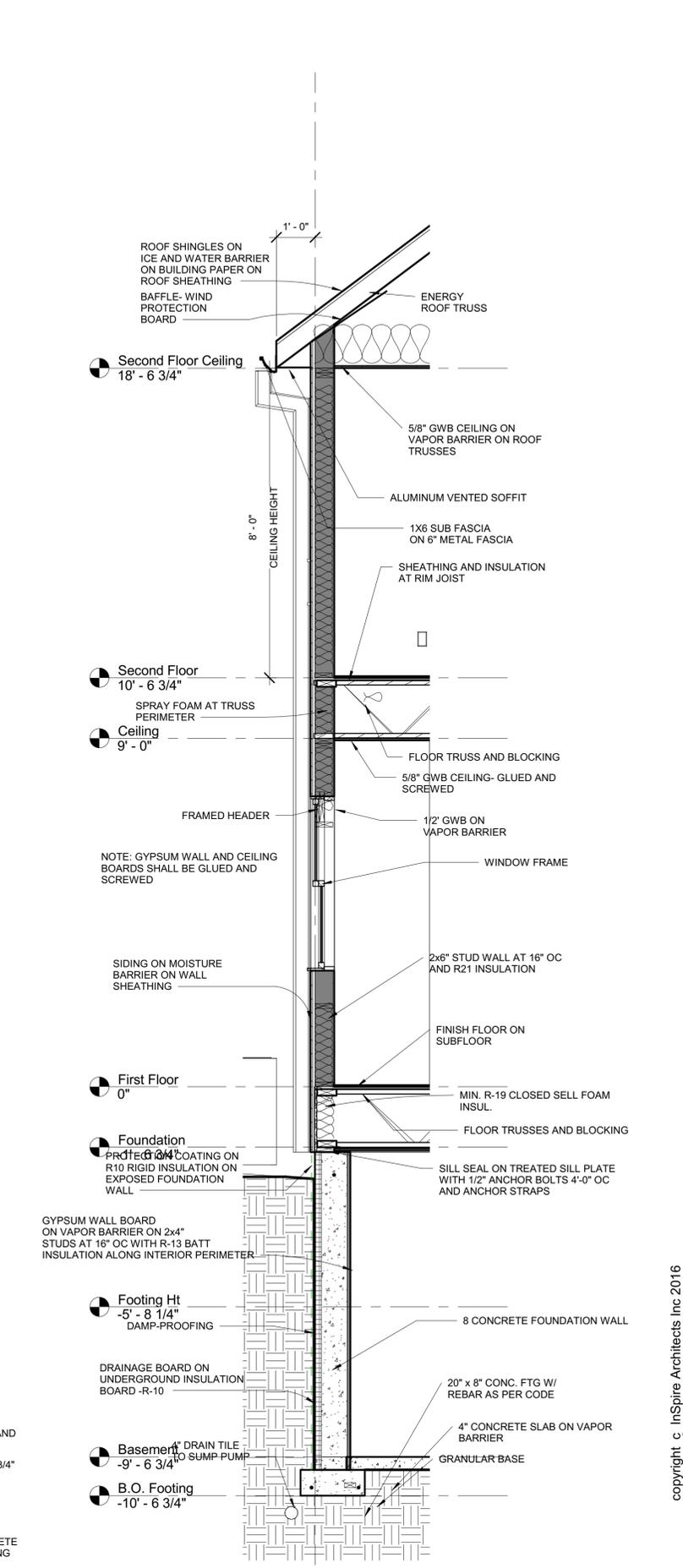
4 Wall/ Main Floor Section TYPICAL
1 1/2" = 1'-0"



5 Typical Basement Wall/Floor Rigid Insulation Section
1 1/2" = 1'-0"



6 TYPICAL WALL SECTION
1/2" = 1'-0"



7 TYPICAL WALL SECTION
1/2" = 1'-0"

REVISIONS	DATE

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SECTION

Sheet Title: **Jason D Macdonald LLC**
 Project Name: **4452 41st Avenue S**
Minneapolis, MN 55406

Project number	2016-24
Date	7/8/2016 5:31:45 PM
Drawn by	lnb
Checked by	jrh
Scale	As indicated

A401

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SUBJECT PROPERTY
FACING EAST 45TH STREET



SUBJECT PROPERTY
FACING 41ST AVENUE S



NEIGHBORING PROPERTY
FACING 41ST AVENUE S



PROPERTIES ACROSS STREET
FACING 41ST AVENUE S



PROPERTIES ACROSS STREET
FACING 41ST AVENUE S



PROPERTIES ACROSS STREET
FACING EAST 45TH STREET



InSpire Architects

465 148th Avenue NE
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Jason MacDonald LLC

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Minneapolis, MN 55406

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Presentation

Project number	2016-24
Date	7/8/2016

P2

Scale



Owner Authorization Statement:

I, Jason D Macdonald, the owner of Jason D Macdonald LLC, whom owns 4452 41st Avenue S Minneapolis, MN 55418 authorizes the application for Variance to be completed by Architect- Jeff Hafferman of InSpire Architects.

Signed:  Date: 7/8/16

Jason D Macdonald LLC
1845 Stinson Blvd
Minneapolis MN 55418
612-986-4246

Brandt, Alyssa J.

From: jeff@architectmn.com
Sent: Sunday, July 17, 2016 7:54 PM
To: info@longfellow.org; Brandt, Alyssa J.
Cc: Jason MacDonald
Subject: Variance Application at 4452 41st Avenue South

Dear Melanie Majors and Longfellow Community Council,

This email is to inform you the homeowner of 4452 41st Avenue S, Minneapolis is applying for a variance to build a new house on the property. It is a traditional style, 4 bedroom, 3 bath two story single family home. Below is my contact information.

Sincerely,
Jeff Hafferman/ owner of:
InSpire Architects
763-807-1044
Jeff@ArchitectMN.com

Brandt, Alyssa J.

From: jeff@architectmn.com
Sent: Sunday, July 17, 2016 8:19 PM
To: Johnson, Andrew
Cc: Brandt, Alyssa J.
Subject: Variance Application

Dear Andrew Johnson,

This email is to inform you the homeowner of 4452 41st Avenue S, Minneapolis is applying for a variance to build a new house on the property. It is a traditional style, 4 bedroom, 3 bath two story single family home. Below is my contact information.

Sincerely,
Jeff Hafferman/ owner of:
InSpire Architects
763-807-1044
Jeff@ArchitectMN.com