

## MEMORANDUM

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**TO:** City Planning Commission, Committee of the Whole  
Heritage Preservation Commission

**FROM:** Shanna Sether, Principal City Planner, (612) 673-2307

**DATE:** November 17, 2016

**SUBJECT:** Estes Funeral Chapel, 2201 & 2215 Plymouth Ave N and 1245 Penn Ave N

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### SITE DATA

<b>Existing Zoning</b>	OR2 High Density Office Residence District
<b>Lot Area</b>	37,325 square feet / .86 acres
<b>Ward(s)</b>	5
<b>Neighborhood(s)</b>	Northside Residents Redevelopment Council
<b>Designated Future Land Use</b>	Mixed Use
<b>Land Use Features</b>	Neighborhood Commercial Node (Plymouth and Penn Aves N) Community Corridor (Penn Ave N and Plymouth Ave N)
<b>Small Area Plan(s)</b>	Not applicable

### HISTORIC PROPERTY INFORMATION

<b>Current Name</b>	Not applicable
<b>Historic Name</b>	Not applicable
<b>Historic Address</b>	Not applicable
<b>Original Construction Date</b>	Not applicable
<b>Original Architect</b>	Not applicable
<b>Original Builder</b>	Not applicable
<b>Original Engineer</b>	Not applicable
<b>Historic Use</b>	Retail
<b>Current Use</b>	Surface parking lot
<b>Proposed Use</b>	Funeral Home

**CLASSIFICATION**

<b>Local Potential Historic District</b>	<a href="#">Homewood Historic District</a>
<b>Period of Significance</b>	1909-1949
<b>Criteria of Significance</b>	80-acre residential subdivision bounded by Plymouth, Penn, Oak Park and Xerxes Avenues North
<b>Date of Local Designation</b>	TBD
<b>Date of National Register Listing</b>	Not applicable
<b>Applicable Design Guidelines</b>	<a href="#">Proposed Homewood Historic Design Guidelines</a> (not adopted)

**SITE DESCRIPTION, HISTORY, AND PRESENT USE**

The subject property is located at the southwest intersection of Penn and Plymouth Avenues North. The property at 2201 Plymouth Ave previously included an office building constructed in 1925. A brick filling station was added in 1931. The property at 2215 Plymouth Ave N originally included a single-family dwelling in 1939. An addition was constructed in 1943, to allow for a doctor’s clinic. All of the buildings on the subject property were demolished between 1989 and 1990. In 2012, the site was resurfaced and landscaped to allow for a parking lot. The site is presently a surface parking lot that serves NorthPoint Health and Wellness Clinic at 1313 Penn Ave N. The parking lot was approved with an interim use permit, which expires on November 15, 2017.

The subject property was included in a City of Minneapolis Public Land Sale, presented to CPC-CoW on [July 21, 2016](#). The land sale included properties on the southwest and southeast corners on the intersection of Penn Avenue North and Plymouth Avenue North to Hennepin County, which are currently vacant land, as part of an expansion project of North Point Health & Wellness that will take place on the northwest corner. Estes Funeral Home will be relocated to a new one story structure on the southwest site, and the southeast site is the subject property.

**PROJECT DESCRIPTION**

The applicant is proposing to construct a one-story, 8,000 sq. ft. funeral home. This facility will replace the existing Estes Funeral Chapel on the Northwest corner of the intersection at Penn and Plymouth Aves N. The funeral home will have two chapels, office space for the funeral director and staff, and a preparation room.

The building will be 21-feet in height and located at the intersection of Penn and Plymouth Aves N. The primary exterior materials are brick, decorative stone masonry, stucco and glass. Metro Transit’s proposed Arterial Bus Rapid Transit (ABRT) stop will be located adjacent to the proposed building along Penn Ave N. There will be a surface parking lot for staff and users of the property to the west of the proposed building.

**APPLICATIONS**

Based on staff’s preliminary review, the following land use applications have been identified:

Heritage Preservation Commission:

- Certificate of appropriateness to allow for the new construction of a commercial building in the potential Homewood Historic District

City Planning Commission:

- Conditional use permit to allow for a new funeral home
- Variance to reduce the front yard setback along Penn Ave N from 28 feet 5 inches to 12 feet 3 inches
- Variance to reduce the corner side yard setback along Plymouth Ave N from 10 feet to 5 feet 9 inches
- Site plan review
- Alley vacation

Additional applications may be required, depending on the plans that the applicant formally submits.

**APPLICABLE POLICIES**

**Homewood Historic District Design Guidelines (not yet adopted)**

Constance Vork, a Minneapolis Heritage Preservation Commissioner, submitted the nomination for the Homewood neighborhood designation as a local historic district in 2016. In February of 2013, as part of a section 106 Review for the proposed Bottineau Transitway, the district was determined to be eligible for listing in the National Register of Historic Places for its association with the social history of the Jewish community in North Minneapolis. The two alternative routes that were considered for the Bottineau Transitway created areas of potential effect that included most, but not all, of the 254 Homewood properties. In 2015 and 2016, the City of Minneapolis completed the inventory of remaining properties (sixty) in the proposed historic district. The subject property and proposed historic district entered into interim protection on April 5, 2016, and will expire on the same day in 2017. The study and draft design guidelines are currently under public review.

The [proposed design guidelines](#) of the Homewood Historic District emphasize the importance of the residential character and primarily focus on rehabilitation, infill and new construction of low-density residential structures. Further, the proposed guidelines state “[f]or properties currently zoned for offices and multifamily residences on the south side of Plymouth Avenue, these guidelines do not apply. *The Secretary of the Interior’s Standards for the Treatment of Historic Properties* should be used as for guidance on these sites.” This statement specifically references the subject property. The Secretary of the Interior Standards for Rehabilitation recommends the following for setting: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

**The Minneapolis Plan for Sustainable Growth (2009)**

The subject property is located at the intersection of two community corridors, Penn and Plymouth Aves N. These corridors are primarily residential with intermittent commercial uses clustered at intersections in nodes and generally support small-scale retail sales and services, serving the immediate neighborhood. The property is also located within a neighborhood commercial node. Neighborhood commercial nodes typically provide retail or service uses on at least three corners of the intersection.

Staff has identified the following policies in the *Minneapolis Plan for Sustainable Growth*, that are relevant to the proposed project:

**Land Use Policy 1.9: Through attention to the mix and intensity of land uses and transit service, the City will support development along Community Corridors that enhances residential livability and pedestrian access.**

- 1.9.1 Support the continued presence of existing small-scale retail sales and commercial services along Community Corridors.
- 1.9.2 Support new small-scale retail sales and services, commercial services, and mixed uses where Community Corridors intersect with Neighborhood Commercial Nodes.
- 1.9.3 Discourage uses that diminish the transit and pedestrian oriented character of Community Corridors, such as automobile services and drive-through facilities.
- 1.9.4 Discourage the conversion of existing residential uses to commercial uses outside of Neighborhood Commercial Nodes.

**Land Use Policy 1.11: Preserve and enhance a system of Neighborhood Commercial Nodes that includes a mix of housing, neighborhood-serving retail, and community uses.**

- 1.11.1 Discourage the commercial territorial expansion of Neighborhood Commercial Nodes, except to adjacent corners of the node's main intersection.
- 1.11.2 Support the continued presence of small-scale, neighborhood-serving retail and commercial services in Neighborhood Commercial Nodes.
- 1.11.3 Discourage new or expanded uses that diminish the transit and pedestrian character of Neighborhood Commercial Nodes, such as some automobile services and drive-through facilities.
- 1.11.4 Encourage a height of at least two stories for new buildings in Neighborhood Commercial Nodes, in keeping with neighborhood character.

**Economic Development Policy 4.9: Focus economic development efforts in strategic locations for continued growth and sustained vitality.**

- 4.9.1 Prioritize economic development efforts around designated neighborhood commercial nodes, commercial corridors, activity centers, and growth centers.

**Urban Design Policy 10.10: Support urban design standards that emphasize a traditional urban form in commercial areas.**

- 10.10.1 Enhance the city's commercial districts by encouraging appropriate building forms and designs, historic preservation objectives, site plans that enhance the pedestrian environment, and by maintaining high quality four season public spaces and infrastructure.
- 10.10.2 Identify commercial areas in the city that reflect, or used to reflect, traditional urban form and develop appropriate standards and preservation or restoration objectives for these areas.

- 10.10.3 Enhance pedestrian and transit-oriented commercial districts with street furniture, street plantings, plazas, water features, public art and improved transit and pedestrian and bicycle amenities.
- 10.10.4 Orient new buildings to the street to foster safe and successful commercial nodes and corridors.
- 10.10.6 Require storefront window transparency to assure both natural surveillance and an inviting pedestrian experience.

**Urban Design Policy 10.16: Design streets and sidewalks to ensure safety, pedestrian comfort and aesthetic appeal.**

- 10.16.1 Encourage wider sidewalks in commercial nodes, activity centers, along community and commercial corridors and in growth centers such as Downtown and the University of Minnesota.
- 10.16.2 Provide streetscape amenities, including street furniture, trees, and landscaping, that buffer pedestrians from auto traffic, parking areas, and winter elements.
- 10.16.3 Integrate placement of street furniture and fixtures, including landscaping and lighting, to serve a function and not obstruct pedestrian pathways and pedestrian flows.
- 10.16.4 Employ pedestrian-friendly features along streets, including street trees and landscaped boulevards that add interest and beauty while also managing storm water, appropriate lane widths, raised intersections, and high-visibility crosswalks.

**FEEDBACK REQUESTED**

Staff and the applicant are requesting feedback on the compatibility of the proposed design, exterior materials and site layout of the proposed funeral home. In addition, staff is requesting feedback regarding the requested preservation and land use applications.



November 7, 2016

Estes Funeral Chapel  
Statement of Proposed Use

Address: 2201 Plymouth Ave. N.

The applicant is proposing to build an 8,014 GSF funeral chapel on this parcel. This facility will replace the existing funeral home across Plymouth Ave from the site. The funeral home will include 2 chapels with seating for 250 people, office space for the funeral director and their staff, lobby space, conference room where funeral arrangements are made, prep room for preparing the body, mechanical room, toilets and a garage for storage of funeral vehicles. The site will include landscaping around the perimeter of the site, a parking lot for 30 vehicles and memorial garden. The site is currently a parking lot leased for NorthPoint staff, leased by the county.

The building will be one-story in height with a maximum height of 21 feet. The primary exterior materials are brick, decorative stone masonry, stucco and glass. There are 2 proposed wall mounted signs and 1 proposed freestanding monument sign.

Hennepin County is relocating the funeral chapel as part of the larger Northpoint expansion project.

The project will be filing an application for Certificate of Appropriateness with the Minneapolis Heritage Preservation Commission. A Land Use Application will then be submitted for Planning Commission approval and plans will be submitted for Preliminary Development Review (PDR).

Gross Floor Area	Height (Maximum)	Parking Spaces
8,014 GSF	21 feet	30 stalls (2 HC)

Mobilize Design and Architecture, LLC  
P.O Box 11093  
1108 W. Broadway Ave.  
Minneapolis, MN 55411



Estes Funeral Chapel  
Southwest corner of Penn Ave. N. & Plymouth Ave.  
November 7, 2016

### Zoning Code Review

Address: 2201 & 2215 Plymouth Ave. N., 1245 Penn Ave. N.

Legal Description:

Parcel ID No's.: 2002924110001 (2201), 2002924110129 (2215),  
2002924110002 (1245)

Lot Size: 37,325 square feet - 0.86 acres

Zoning District: OR2 High Density Office Residence District

Overlay Zoning District: None

Adjacent Districts: R1, R2B & C2. Residential districts border the south and west edges of the site.

Building Information:

One-story building

8,014 GSF

### [547.30 Principal uses for the office residence districts](#)

Allowed Conditional Use:

Funeral Home (requires Conditional Use Permit)

### [547.40 Accessory uses and structures.](#)

Accessory uses and structures shall comply with the provisions of Chapter 537, Accessory Uses and Structures.

### [547.70 Parking and Loading](#)

Parking and loading requirements for uses in the office residence district shall be as set forth in Chapter 541, Off-Street Parking and Loading.

### [547.80 Truck and Commercial Vehicle Parking](#)

Parking of commercial vehicles accessory to permitted or conditional nonresidential uses shall be limited to operable, single rear axle vehicles of not more than 15,000 pounds gross vehicle weight. Such vehicles shall be parked in an enclosed structure. This doesn't apply to pick-up and delivery activities.

547.140. – Maximum Lot Coverage.

Principal and accessory structures shall not cover more than 70% of the lot.

547.150. – Impervious Surface Coverage

Impervious surfaces shall not cover more than 85% of the lot. The non-impervious surfaces shall be landscaped.

547.160. – Yard Requirements

Front yard - 15 feet or the front yard setback established by existing residential buildings on the same block.

Rear yard - 7 feet

Interior Side yard - 7 feet

Corner Side yard - 10 feet

547.310. – Bulk Building requirements.

Minimum Lot Area - 15,000 SF

Height - 4 stories, not to exceed 56 feet

Floor Area Ratio - 2.5

530.110 Building Placement

The placement of buildings shall reinforce the street wall, maximize natural surveillance and visibility, and facilitate pedestrian access and circulation. The first floor shall be located not more than 8' from the front lot line, except when a greater yard is required by this zoning ordinance.

530.120 Building Design

Building walls shall provide architectural detail and shall contain windows as required in this section in order to create visual interest and to increase the security of adjacent outdoor spaces by maximizing natural surveillance and visibility.

Blank, uninterrupted walls, shall not exceed 25' in length.

Principal entrances shall be clearly defined and emphasized through the use of architectural features such as roofs, or other details that express the importance of the entrance. Multiple entrances are encouraged. 30% of the walls on the first floor that face a public street, public sidewalk, public pathway, or on-site parking shall be windows.

Windows can be no more than 4' above grade to satisfy the window requirement.

Ground floor active functions. The first floor of buildings shall be

designed to accommodate active functions by ensuring that parking, loading, storage, or mechanical equipment rooms are limited to no more than 30% of the linear building frontage along each wall facing a public street, public sidewalk or public pathway.

#### 530.160 General Landscaping and screening

Not less than 20% of the site not occupied by buildings including all required landscaped yards shall be landscaped.

- Not less than 1 canopy tree for each 500 SF
- Not less than 1 shrub for each 100 SF
- Remainder of the landscaped area shall be covered with turf grass, native grasses or perennial flower plants, vines, shrubs or trees.

Required Screening: Where screening is required by this zoning ordinance, screening shall be:

- Not less than 6' in height, except 3' in front yard setback
- Screening shall be 95% opaque throughout the year.
- It can be a decorative fence, masonry wall, hedge

Required landscaped yard and screening. Where both a landscaped yard and screening is required by this zoning ordinance, such required landscaped yard shall be satisfied by one (1) of the following:

- Along a rear or interior side lot line, locate the required landscaped yard inside or outside the required screen.
- Along a public street, public sidewalk or public pathway, locate the required landscaped yard outside the required screen unless such screen is highly decorative and is less than sixty (60) percent opaque, such as a wrought iron fence.

#### 530.170. - Parking and loading landscaping and screening.

(a) *In general.* Parking and loading facilities, and all other areas upon which motor vehicles may be located, including but not limited to drive-through facilities, pump island service areas and stacking spaces, shall comply with the standards of this chapter and the applicable regulations of this zoning ordinance. Where this section requires a landscaped yard, such yard shall remain unobstructed from the ground level to the sky, except that fencing shall be allowed.

(b)

*Parking and loading fronting along a public street, public sidewalk or public pathway.* Parking and loading facilities, and all other areas upon which motor vehicles may be located fronting along a public street, public sidewalk or public pathway shall comply with the following standards:

(1)

A landscaped yard at least seven (7) feet wide shall be provided along the public

street, sidewalk or pathway, except where a greater yard is required. If a parking facility contains over one hundred (100) parking spaces, the minimum required landscaped yard shall be increased to nine (9) feet in width.

(2)

Screening consisting of either a masonry wall, fence, berm or hedge or combination thereof that forms a screen three (3) feet in height and not less than sixty (60) percent opaque shall be provided, except that where areas are devoted principally to the parking or loading of trucks or commercial vehicles of more than fifteen thousand (15,000) pounds screening six (6) feet in height and not less than sixty (60) percent opaque shall be required.

(3)

Not less than one (1) tree shall be provided for each twenty-five (25) linear feet or fraction thereof of parking or loading area lot frontage.

(c)

*Parking and loading abutting or across an alley from a residence or office residence district, or any permitted or conditional residential use.* Parking and loading facilities and all other areas upon which motor vehicles may be located that abut or are across an alley from a residence or office residence district or a permitted or conditional residential use shall comply with the following standards:

(1)

A landscaped yard at least seven (7) feet wide shall be provided along the property line or alley, except where a greater yard is required. If a parking facility contains over one hundred (100) parking spaces, the minimum required landscaped yard shall be increased to nine (9) feet in width.

(2)

Screening at least ninety-five (95) percent opaque shall be provided as specified in section [530.160\(b\)](#).

(d)

*Interior landscaping of parking lots.* The corners of parking lots where rows of parking spaces leave areas unavailable for parking or vehicular circulation shall be landscaped as specified for a required landscaped yard. Such spaces may include architectural features such as benches, kiosks or bicycle parking.

(e)

*Distance to trees.* In parking lots of ten (10) spaces or more, no parking space shall be located more than fifty (50) feet from the center of an on-site deciduous tree. Tree islands located within the interior of a parking lot shall have a minimum width of seven (7) feet in any direction.

### [530.260 Crime prevention through environmental design](#)

Site plans shall employ best practices to increase natural surveillance and visibility, to control and guide movement on the site, and to distinguish between public and non-public spaces.

### [535.70 Screening of mechanical equipment](#)

All mechanical equipment installed on or adjacent to structures shall be arranged so as to minimize visual impact use 1 of the following methods.

- Screened by another structure
- Screened by vegetation
- Screened by the structure it serves
- Designed as an integral part of the structure

#### [535.80 Screening of refuse and recycling storage container](#)

Refuse, recycling storage, and compost containers shall be enclosed on all 4 sides by screening compatible with the principal structure, not less than 2' higher than the refuse container.

#### [535.95 Principal entrance, walkway, and window requirements for nonresidential uses](#)

Nonresidential buildings shall be oriented so that at least 1 principal entrance faces a public street rather than the interior of the site.

#### [535.590 Lighting](#)

No use or structure shall be operated or occupied as to create light or glare in such an amount as to constitute a hazardous condition.

- Light fixtures arranged to cause illumination in excess of ½ footcandle measured at the closest property line.
- Light bulbs shall not exceed 2,000 lumens unless a cutoff type fixture.

#### [541.170 Specific off-street parking requirement](#)

Funeral Home            8 spaces per chapel minimum, 20 spaces per chapel maximum. 2 chapels provided. Minimum of 16 stalls, maximum of 40 stalls. 30 stalls provided.



View of Estes site looking southwest from northeast corner of Penn & Plymouth Aves. N



View of Estes site looking west from southeast corner of Penn & Plymouth Aves. N.



View of Estes site looking southwest from corner of Penn & Plymouth Aves. N.



View of Estes site looking southwest from northwest corner of Penn & Plymouth Aves. N.



View of Estes site from Penn Ave. N. looking northwest



View from sidewalk along north edge of proposed Estes site looking west



View from sidewalk along north edge of proposed Estes site looking southwest



View from sidewalk along north edge of proposed Estes site looking southeast



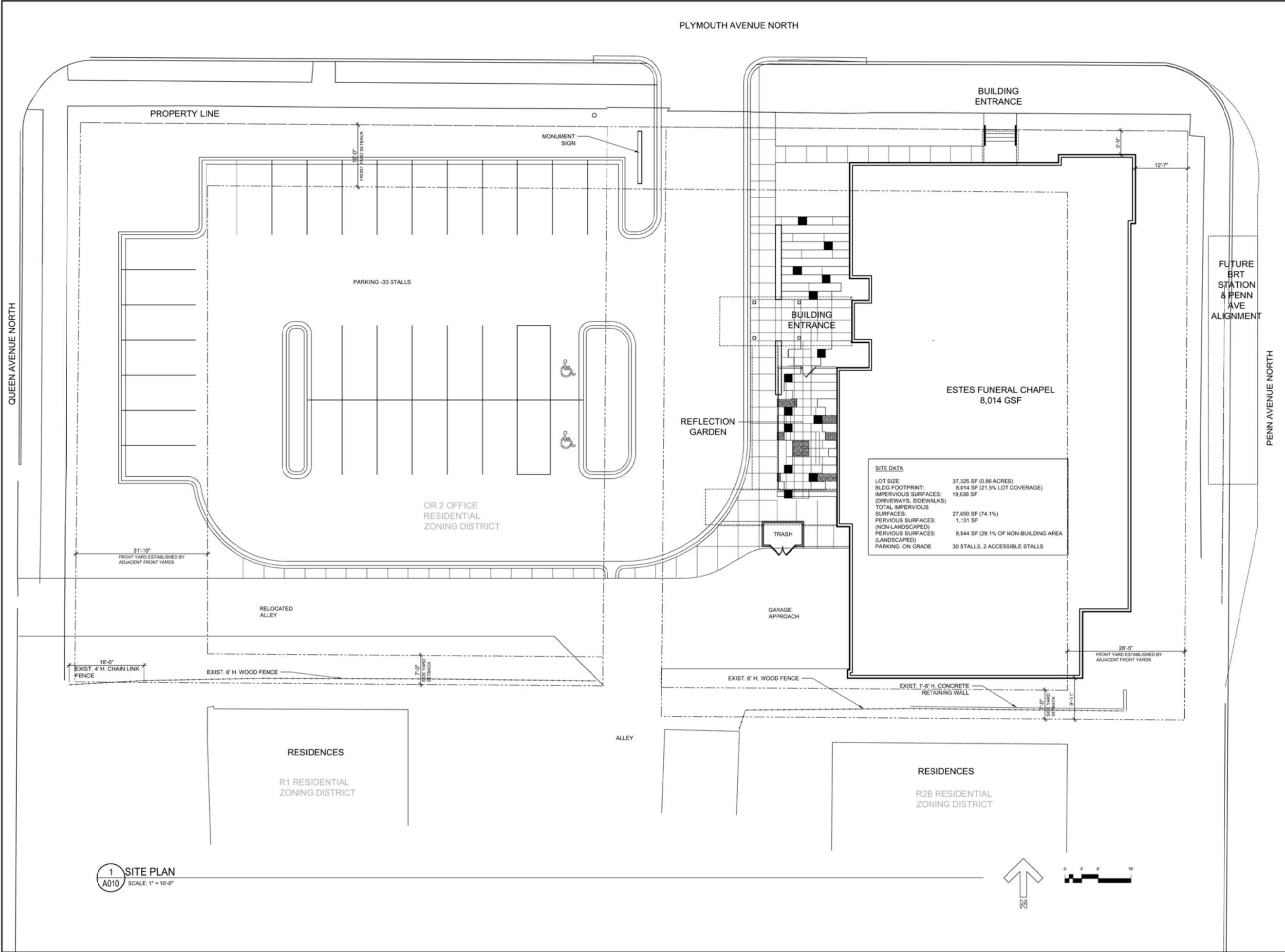
View from sidewalk along north edge of proposed Estes site looking south



View from proposed Estes site looking south toward alley



View from proposed Estes site looking north at current Estes Funeral Chapel



**SITE DATA**

LOT SIZE:	37,325 SF (0.86 ACRES)
BLDG FOOTPRINT:	8,014 SF (21.5% LOT COVERAGE)
IMPERVIOUS SURFACES: (DRIVEWAYS, SIDEWALKS)	19,636 SF
TOTAL IMPERVIOUS SURFACES:	27,650 SF (74.1%)
PERVIOUS SURFACES: (NON-LANDSCAPED)	1,131 SF
PERVIOUS SURFACES: (LANDSCAPED)	8,544 SF (29.1% OF NON-BUILDING AREA)
PARKING, ON GRADE:	30 STALLS, 2 ACCESSIBLE STALLS



ARCHITECT OF RECORD:



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# ESTES FUNERAL CHAPEL

Minneapolis, MN

NO.	DATE	DESCRIPTION
△		= CLOUDED CHANGE

REVISION LOG

A 11/07/16 CoW Submission

NO.	DATE	DESCRIPTION
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## ESTES FUNERAL CHAPEL

2201 PLYMOUTH AVE N.  
MINNEAPOLIS, MN 55411

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota.

Date:

### SITE PLAN

SCALE	1" = 10'-0"
DRAWN BY	DJW
CHECKED BY	
PROJ. ARCH.	
PROJ. MGR.	
JOB NO.	

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**A010**

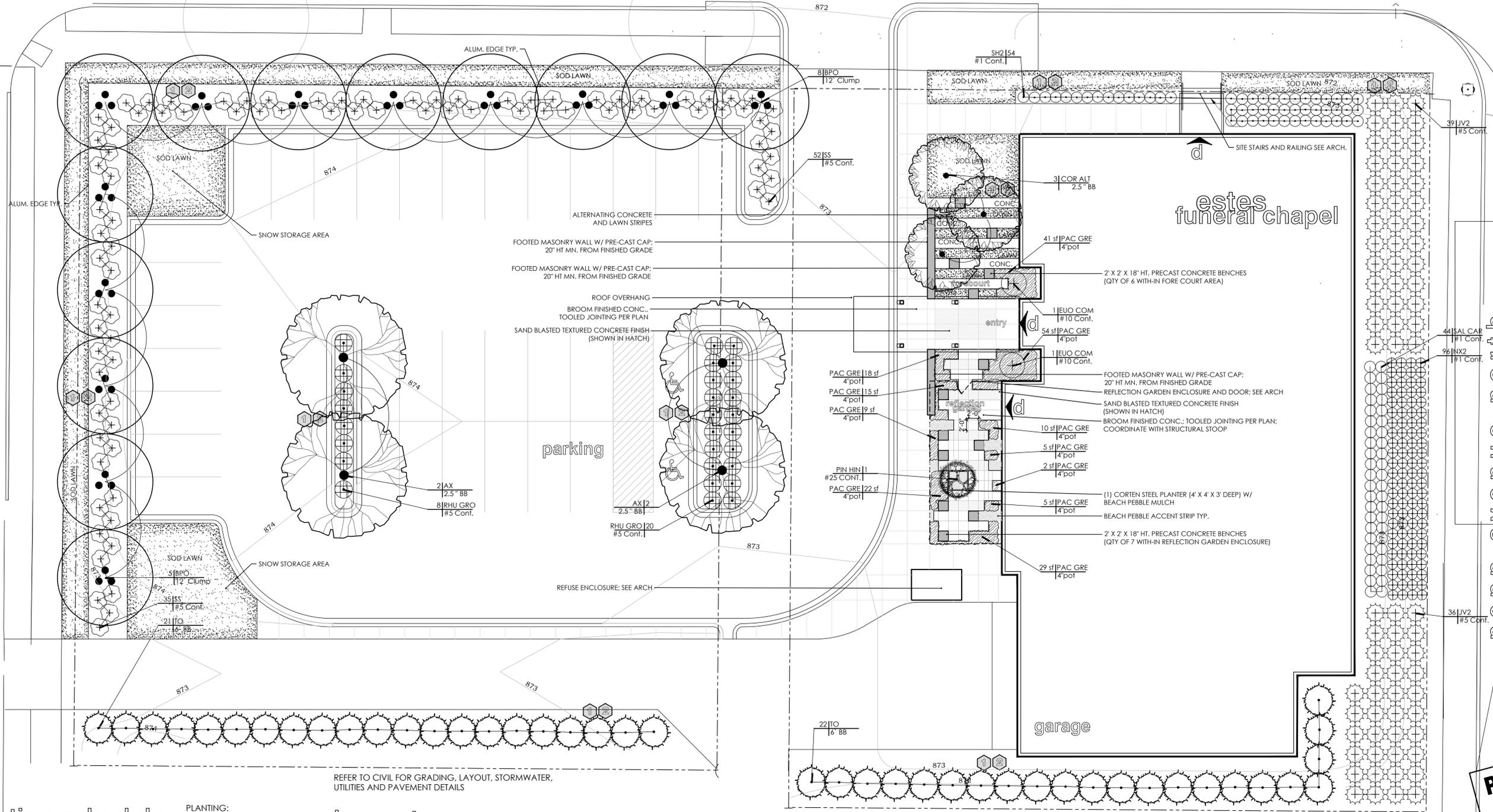
1 SITE PLAN  
A010 SCALE: 1" = 10'-0"



plymouth avenue north

queen avenue north

penn avenue north



REFER TO CIVIL FOR GRADING, LAYOUT, STORMWATER, UTILITIES AND PAVEMENT DETAILS

planting schedule

PLANTING:  
REFER TO PAGE L1.1  
DETAILS 1/L1.0, 2/L1.0, 3/L1.0

TREES	CODE	BOTANICAL NAME / COMMON NAME	CONT.	QTY	
AX	Acer freemontii 'Sierro' / Sierro Glen Maple	2.5" BB	4		
BPO	Betula populifolia 'Whitespire' / Whitespire Birch	12' Clump	13		
COR ALT	Cornus alternifolia 'Pagoda Dogwood'	10' Clump	3		
PN HN	Pinus sylvestris 'Hindu-Pan' / Hindu-Pan Scotch Pine	#25 CONT.	1		
TO	Thuja occidentalis 'Techny' / Techny Arborvitae	6' BB	43		
SHRUBS	CODE	BOTANICAL NAME / COMMON NAME	SIZE	QTY	
EJO COM	Euonymus alatus 'Compactus' / Compact Burning Bush	#10 CONT.	2		
JV2	Juniperus virginiana 'Grey Owl' / Grey Owl Juniper	#5 CONT.	75		
NX2	Nepeta x faassenii 'Walkers Low' / Walkers Low Catmint	#1 CONT.	96		
RHU GRO	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	#5 CONT.	28		
SAL CAR	Salvia nemorosa 'Caradonna' / Caradonna Sage	#1 CONT.	44		
SS	Sorbaria sorbifolia 'Sem' / Sem Ash Leaf Spirea	#5 CONT.	87		
SH2	Sparobolus heterolepis / Prairie Dropseed	#1 CONT.	54		
GROUND COVERS	CODE	BOTANICAL NAME / COMMON NAME	CONT.	SPACING	QTY
PAC GRE	Pachysandra terminalis 'Green Carpet' / Japanese Spurge	4" pot	218 sf		
POA PRA	Poa pratensis / Kentucky Bluegrass	sod	2,762 sf		

key notes

- 1. PLANTING AREAS: LANDSCAPE EDGING SHALL BE 4" MILL FINISH ALUM. W/ STAKES. ALL PLANTING BEDS TO RECEIVE HARDWOOD SHREDDED MULCH; APPLY TO A 3" DEPTH WITH PELLET WEED PREVENTER UNDER ALL PLANTING BEDS.
- 2. IRRIGATION: PROVIDE IRRIGATION FOR LANDSCAPE AND SOD AREAS FOR 100% COVERAGE. REFER TO DESIGN BUILD IRRIGATION SPECIFICATION. PROVIDE SHOP DRAWING FOR IRRIGATION SYSTEM INCLUDING HEAD LAYOUT, SPACING, TYPE, BACKFLOW PREVENTER LOCATIONS, POINT OF CONNECTION, SLEEVES, CONTROLLER, VALVE BOX LOCATIONS, ZONE INDICATIONS AND PIPE SIZING. PROVIDE ON-SITE OPERATION TUTORIAL FOR OWNER AN INCLUDE ALL MANUALS AND INFORMATION ON THE SYSTEM

planting notes

1. CONFIRM ALL QUANTITIES, SHAPES AND LOCATIONS OF BEDS, AND ADJUST AS REQUIRED TO CONFORM TO THE SITE CONDITIONS. CONFIRM ANY ADJUSTMENTS WITH THE LANDSCAPE ARCHITECT.
2. LOCATE ALL UTILITIES. NOTIFY THE LANDSCAPE ARCHITECT OF ANY CONFLICTS WITH NEW CONSTRUCTION.
3. THE CONTRACTOR SHALL REMOVE FROM THE SITE ALL SOD/TURF WHICH HAS BEEN REMOVED FOR NEW PLANT BEDS. ANY PLANT STOCK NOT PLANTED ON DAY OF DELIVERY SHALL BE HELED IN AND WATERED UNTIL INSTALLATION. PLANTS NOT MAINTAINED IN THIS MANNER WILL BE REJECTED.
4. THE PLAN TAKES PRECEDENCE OVER THE PLANT SCHEDULE IF DISCREPANCIES EXIST. ADVISE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES.
5. THE CONTRACTOR SHALL AVOID DAMAGING EXISTING TREES. DO NOT STORE OR DRIVE HEAVY MATERIALS OVER TREE ROOTS. DO NOT DAMAGE TREE BARK OR BRANCHES.
6. THE CONTRACTOR SHALL KEEP PAVEMENTS, FIXTURES AND BUILDINGS CLEAN AND UNSTAINED. ANY DAMAGE TO EXISTING FACILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE. THE PROJECT SITE SHALL BE KEPT CLEAR OF CONSTRUCTION WASTES AND DEBRIS.
7. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR PLANTING SOIL QUANTITIES TO COMPLETE THE WORK SHOWN ON THE PLAN. MULCH, PLANTING SOIL AND OTHER MISCELLANEOUS PLANTING COMPONENTS SHALL BE CONSIDERED INCIDENTAL TO THE RELATED PLAN. VERIFY ALL QUANTITIES. CONTRACTOR IS RESPONSIBLE FOR WATERING AND ALL PLANT CARE UNTIL FINAL ACCEPTANCE BY THE OWNER.
8. PLANT MATERIAL SHALL BE PROTECTED AND MAINTAINED UNTIL THE INSTALLATION OF PLANTINGS IS COMPLETE. INSPECTION HAS BEEN MADE AND PLANTING IS ACCEPTED EXCLUSIVE OF THE GUARANTEE MAINTENANCE SHALL INCLUDE WATERING, WEEDING, MULCHING.
9. REMOVAL OF DEAD MATERIAL PRIOR TO GROWING SEASON, RE-SETTING PLANTS AND PROPER GRADE, AND KEEPING PLANTS IN A PLUMB POSITION. AFTER ACCEPTANCE, THE OWNER SHALL ASSUME MAINTENANCE RESPONSIBILITIES. HOWEVER, THE CONTRACTOR SHALL CONTINUE TO BE RESPONSIBLE FOR KEEPING THE TREES PLUMB THROUGHOUT THE GUARANTEE PERIOD.
10. WATERING: MAINTAIN A WATERING SCHEDULE WHICH WILL THOROUGHLY WATER ALL PLANTS ONCE A WEEK AND SOD EVERY OTHER DAY UNTIL ACCEPTANCE BY THE OWNER. IN EXTREMELY HOT, DRY WEATHER, WATER MORE OFTEN AS REQUIRED BY INDICATIONS OF HEAT STRESS SUCH AS WILTING LEAVES. CHECK MOISTURE UNDER MULCH PRIOR TO WATERING TO DETERMINE NEED. CONTRACTOR SHALL MAKE THE NECESSARY ARRANGEMENTS FOR WATER.

landscape plan

ten

L1.0

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St. Paul, MN 55114  
651.266.6155 or 651.341.3262

**ESTES FUNERAL CHAPEL**

Minneapolis, MN

NO.	DATE	DESCRIPTION
A	11/07/16	CoW Submission
1	06.17.2016	PRICING

NO.	DATE	DESCRIPTION
ISSUE LOG		

I HEREBY CERTIFY that the design and specifications are the work of the professional seal of the State of Minnesota and are not a copy of any other design or specifications.

**PRELIMINARY**  
NOT FOR CONSTRUCTION

DATE: 6-17-2016  
REG. NO: 42162

SCALE \_\_\_\_\_  
DRAWN BY \_\_\_\_\_  
CHECKED BY \_\_\_\_\_  
PROJ. ARCH. \_\_\_\_\_  
PROJ. MGR. \_\_\_\_\_  
JOB NO. \_\_\_\_\_  
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P.O. Box 11093  
1103 W. Broadway Ave.  
Minneapolis, MN 55411  
p 612.208.0504  
www.mobilizedesign.net

# ESTES FUNERAL CHAPEL

Minneapolis, MN

NO.	DATE	DESCRIPTION
△		= CLOUDED CHANGE

NO.	DATE	DESCRIPTION
A	11/07/16	CoW Submission

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota.

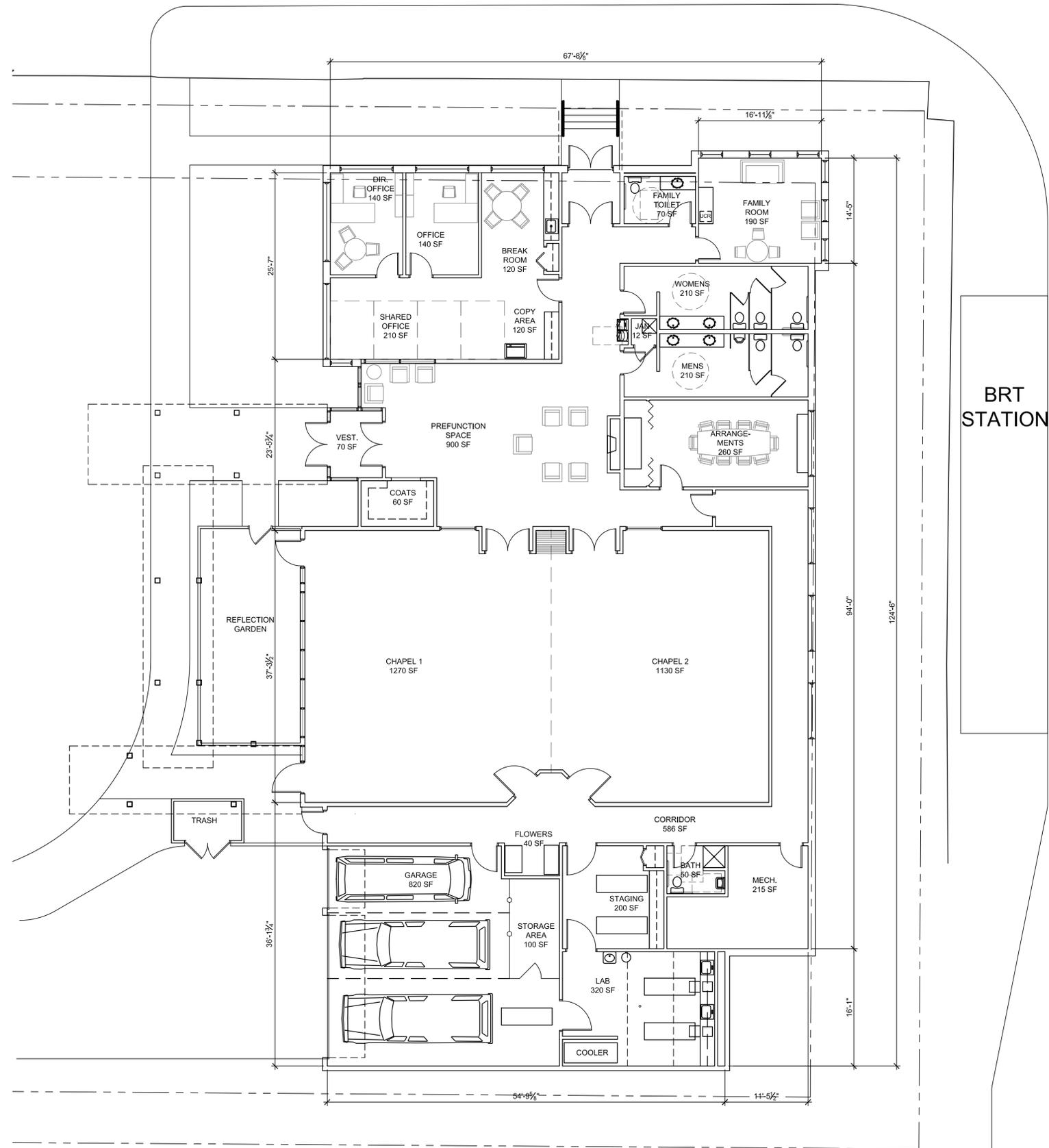
Date:  
David J. Witt, R License # 22911

## FLOOR PLAN

SCALE 1/8" = 1'-0"  
DRAWN BY DJW  
CHECKED BY  
PROJ. ARCH.  
PROJ. MGR.  
JOB NO.

MOBILIZE DESIGN & ARCHITECTURE, LLC 2012

# A200



1 FLOOR PLAN  
1/8" = 1'-0"

BRT  
STATION

# Estes Funeral Chapel Relocation



Street View Looking Southwest from Plymouth & Penn Avenues



Street View Looking Southeast from Plymouth Avenue



**COLLABORATIVE  
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NO.	DATE	DESCRIPTION
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REVISION LOG

NO.	DATE	DESCRIPTION

ISSUE LOG

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Date:

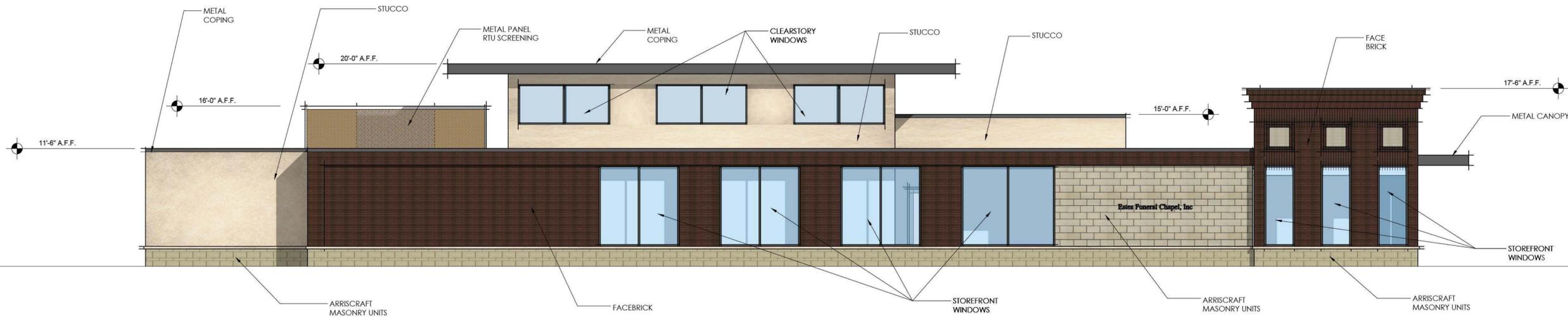
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## EXTERIOR ELEVATIONS

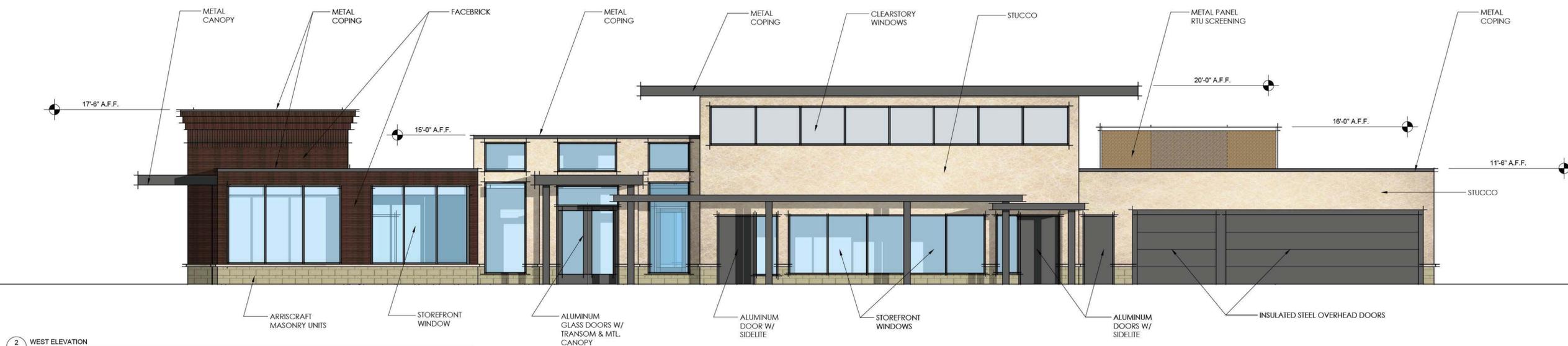
SCALE	1/8" = 1'-0"
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PROJ. MGR.	
JOB NO.	

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**A400**



1 EAST ELEVATION  
Scale: 3/16" = 1'-0"



2 WEST ELEVATION  
Scale: 3/16" = 1'-0"

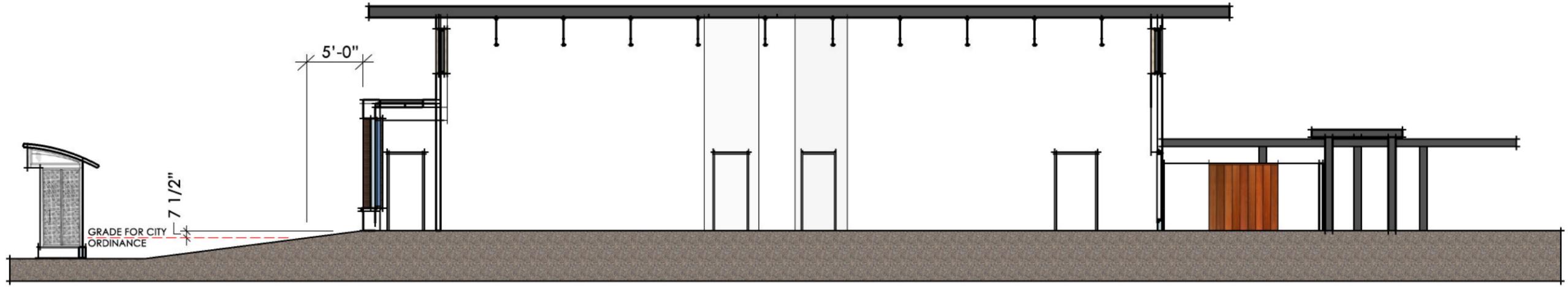
### Material Percentages

SF of Exterior Wall	- 7,010 SF	18%
SF of Glass	- 1,272 SF	25%
SF of Brick	- 1,726 SF	14%
SF of Stucco	- 2,382 SF	34%
SF of Metal	- 617 SF	9%

### Square Feet of Glass Between 2' & 10' Above Grade

East Elevation	- 35%
North Elevation	- 42%
West Elevation	- 34%





**SECTION LOOKING SOUTH**  
SCALE: 1" = 1'-0"

